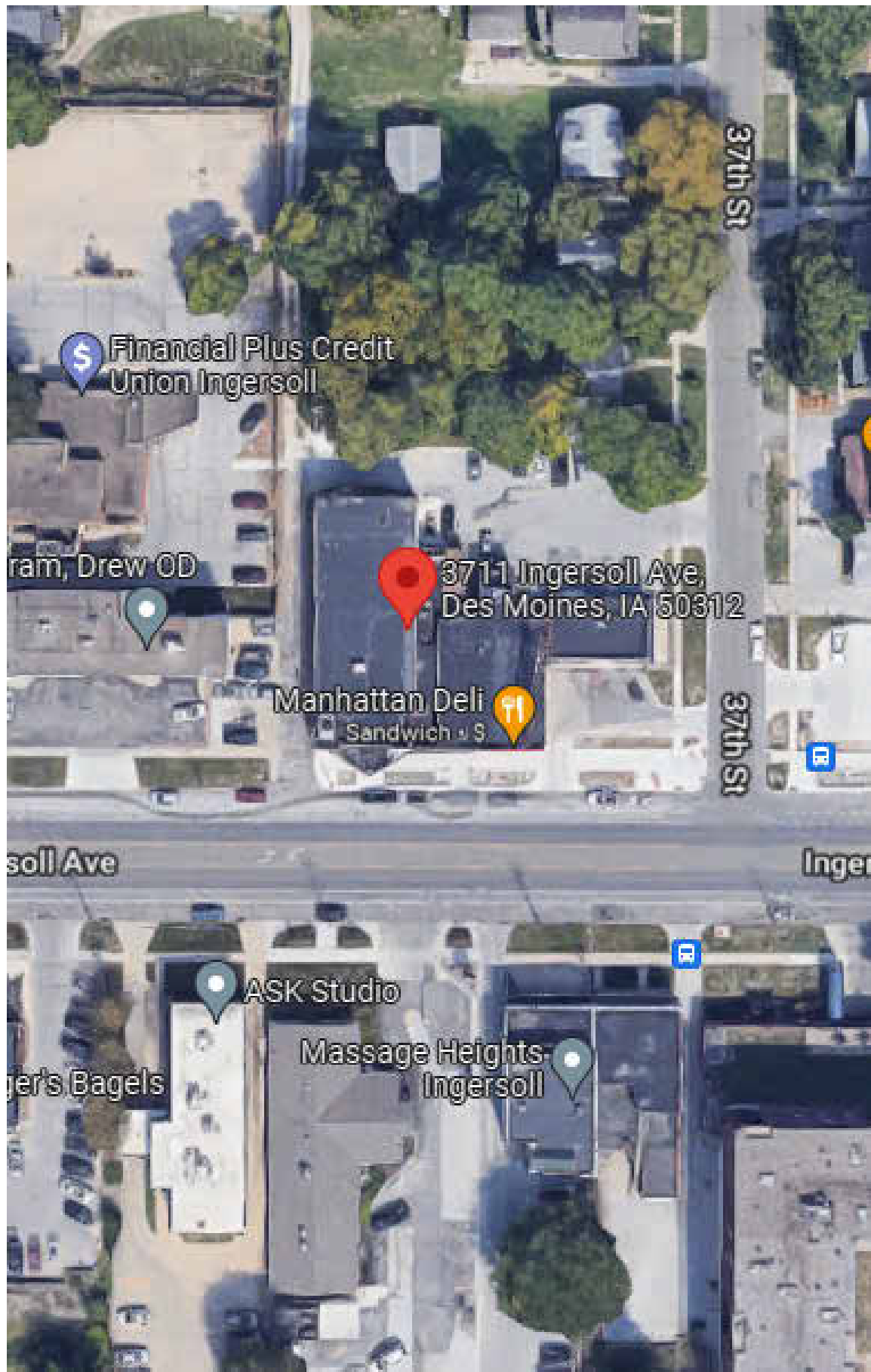


SITE LOCATION



OWNER

DELANEY ENTERPRISES LLC  
2843 GRAND AVE  
DES MOINES, IA 50312  
CONNOR DELANEY

OWNER REPRESENTATIVE

DEV PARTNERS  
1300 WALNUT ST. SUITE 100  
DES MOINES, IA 50309  
JESSIE KINTZ jessie@dev.partners

ARCHITECT

SEQUEL ARCHITECTURE  
3106 INGERSOLL AVE.  
DES MOINES, IA 50312  
STEVE WILKE-SHAPIO steve@sequelarchitecture.com

GENERAL CONTRACTOR

SHYFT

SHEET INDEX

	SHEET NAME	ISSUED	LAST REVISION
GENERAL	G0.01 - COVER SHEET	2023.04.25	
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	D2.01 - SELECTIVE DECONSTRUCTION - EXT ELEV	2023.04.25	
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	A1.02 - FLOOR PLAN LEVEL 2, ROOF	2023.04.25	
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	A3.02 - ENLARGED PLAN - WOMEN'S RESTROOM	2023.04.25	
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	A3.04 - ENLARGED PLANS - FAMILY RESTROOMS	2023.04.25	
	A3.05 - ENLARGED PLAN - BAR	2023.04.25	
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	A5.01 - DETAILS	2023.04.25	
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	A6.01 - SCHEDULES	2023.04.25	
ELECTRICAL	E1.01 - ELECTRICAL CONCEPT	2023.04.25	

MEP ENGINEER

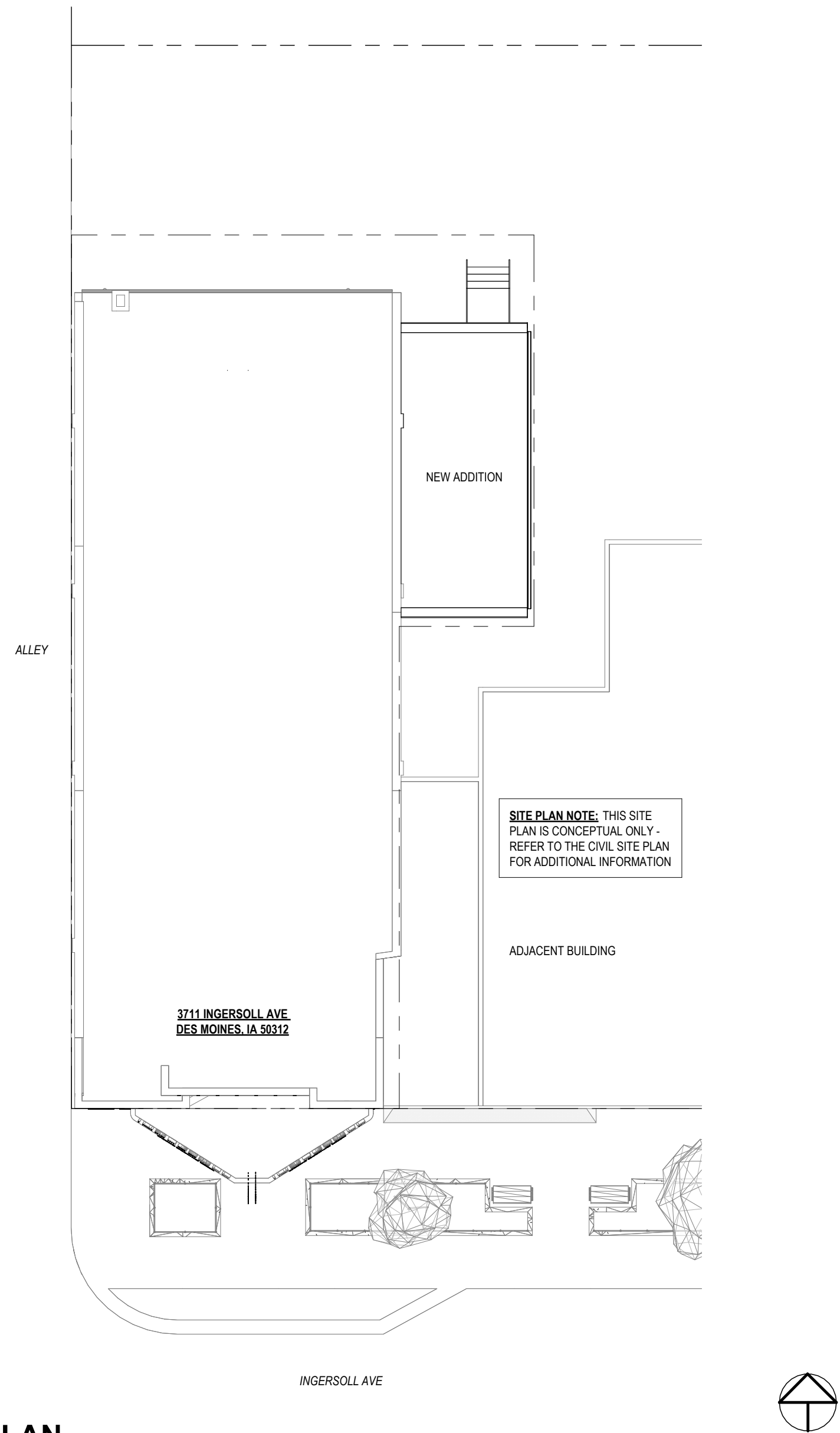
MODUS  
130 EAST 3RD ST. SUITE 300  
DES MOINES, IA 50309  
JOSH NIELSEN jnielsen@modus-eng.com

CIVIL ENGINEER

CIVIL DESIGN ADVANTAGE  
4121 NW URBANDALE DR.  
URBANDALE, IA 50322  
BOB GIBSON BobG@cda-eng.com

# HISTORIC REHABILITATION

## 3711 INGERSOLL AVENUE DES MOINES, IA 50312



1 | SITE PLAN  
1/16" = 1'-0"

	I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed architect under the laws of the State of Iowa.
	Steven Wilke-Shapiro, AIA Iowa License # 07231 Sequel Architecture, PLC
	Signature _____ Date _____
Sheets or Pages covered by this seal	

SEQUEL ARCHITECTURE  
3106 Ingersoll Ave, Des Moines, IA 50312  
info@sequelarchitecture.com  
515.710.3484



HISTORIC REHABILITATION  
3711 INGERSOLL AVENUE  
DES MOINES, IA 50312  
RELEASED FOR INTERNAL REVIEW

SOA PROJECT# ITAR  
ISSUE DATE: 2023.04.25

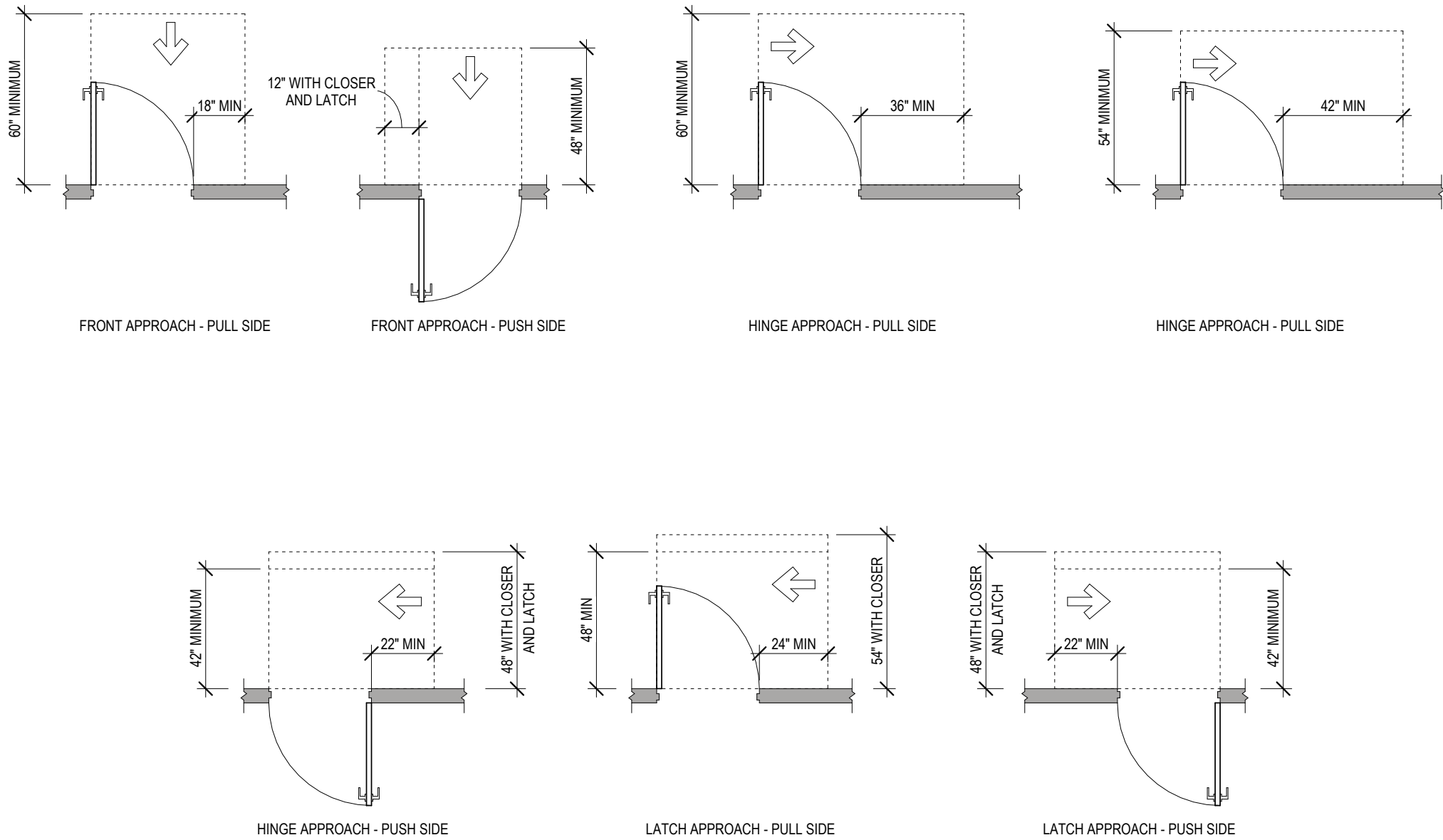
REVISIONS  
REV DESCRIPTION DATE

COVER SHEET

G0.01

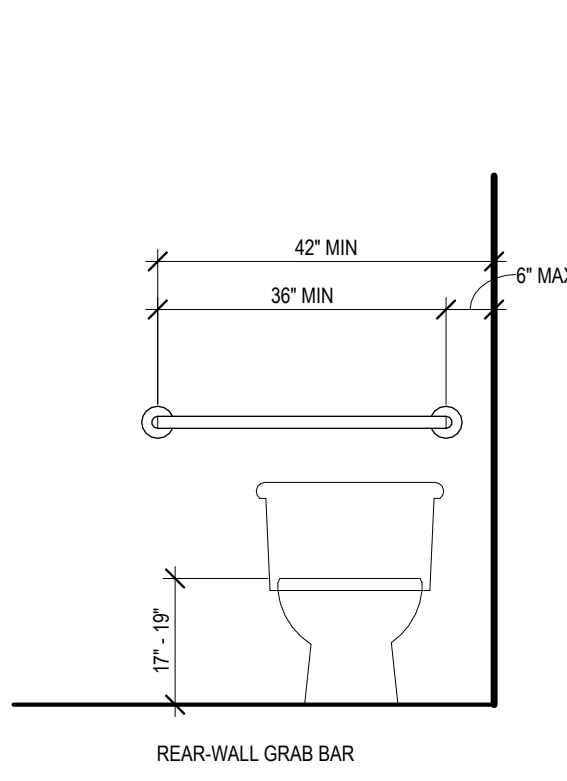
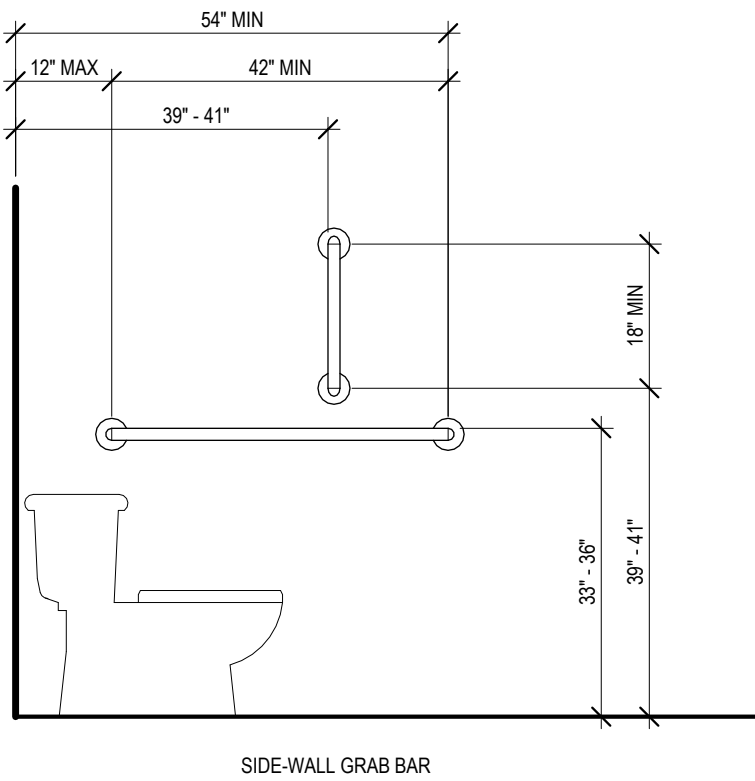
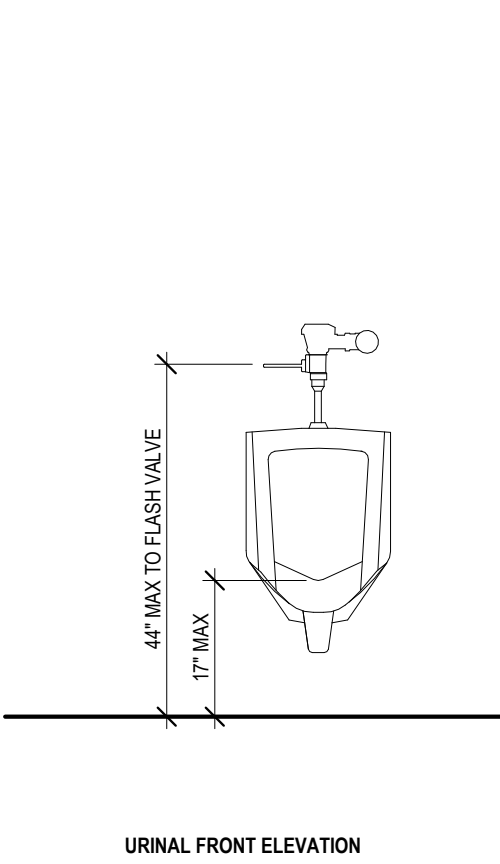
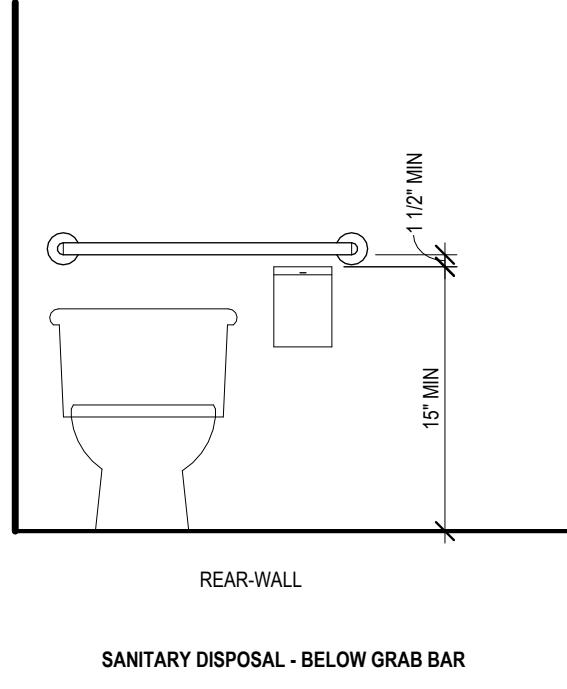
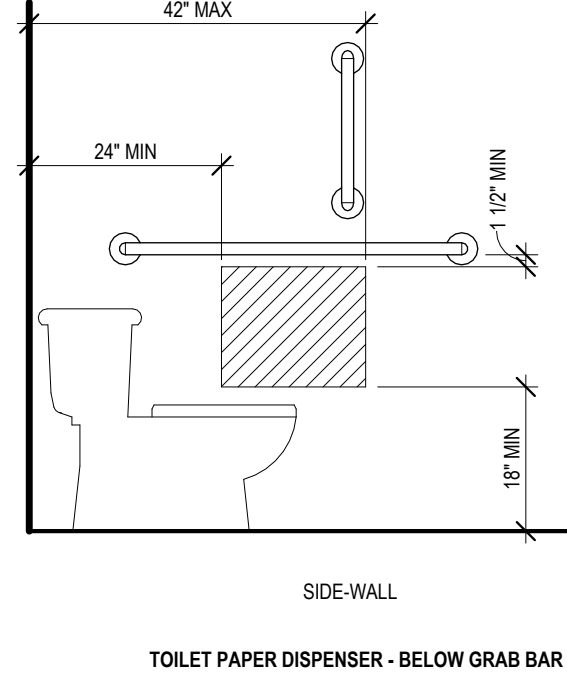
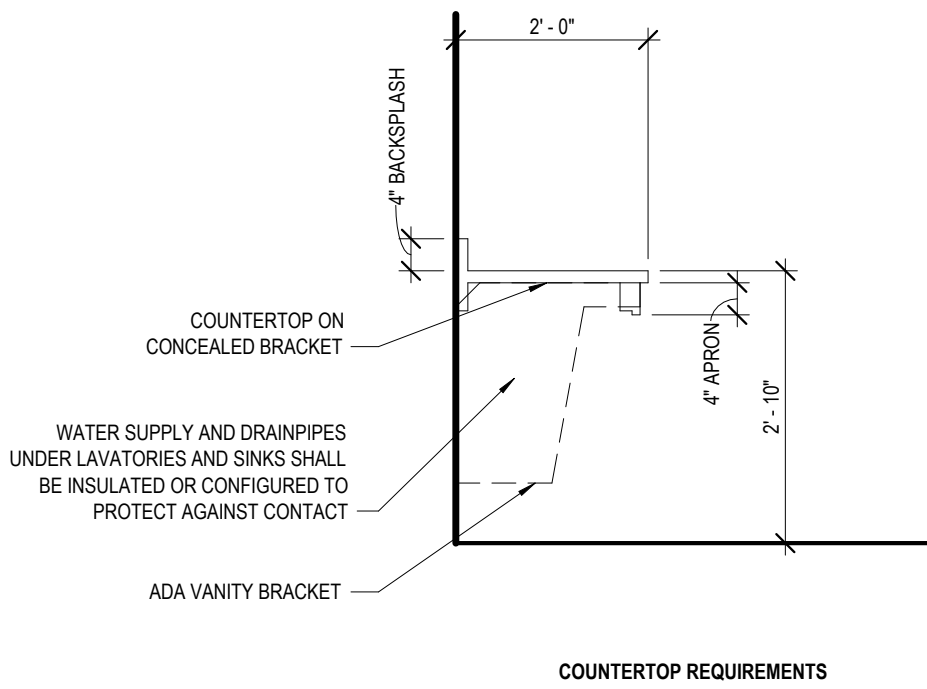
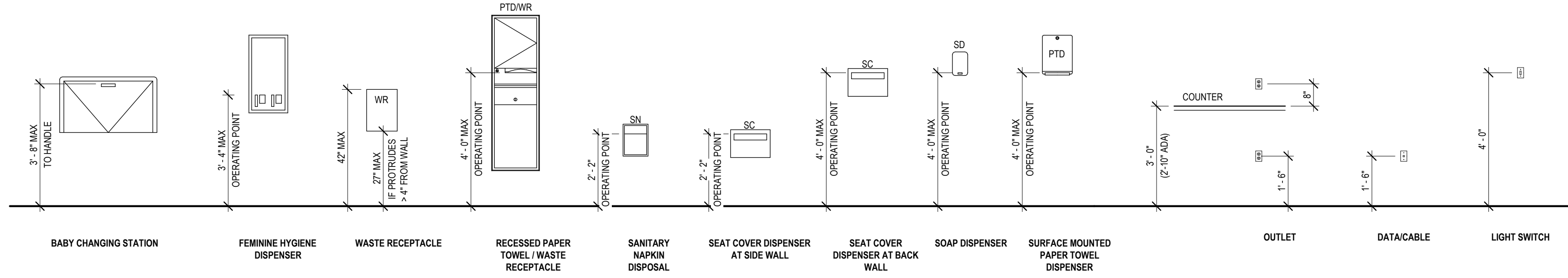
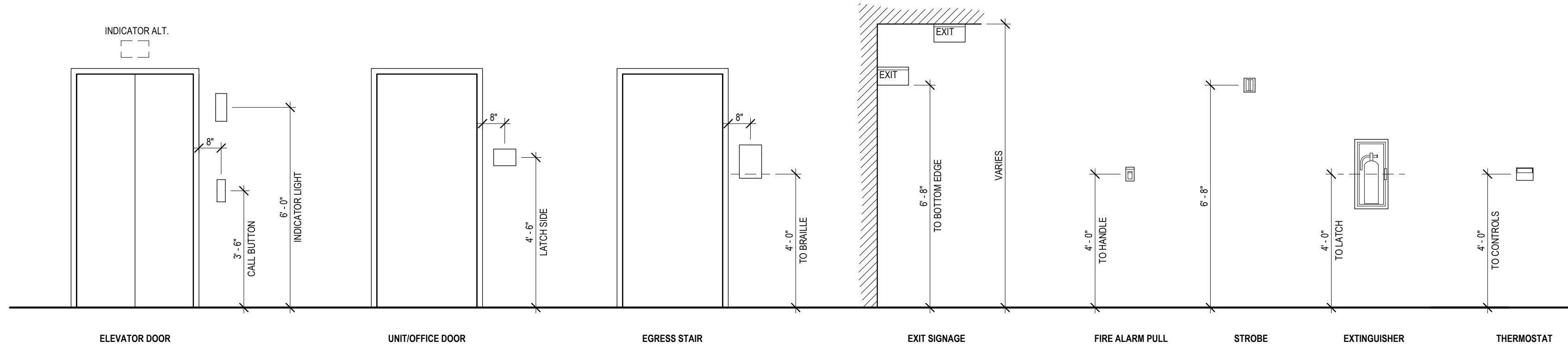
2 | DOOR SWING STANDARDS

1/4" = 1'-0"



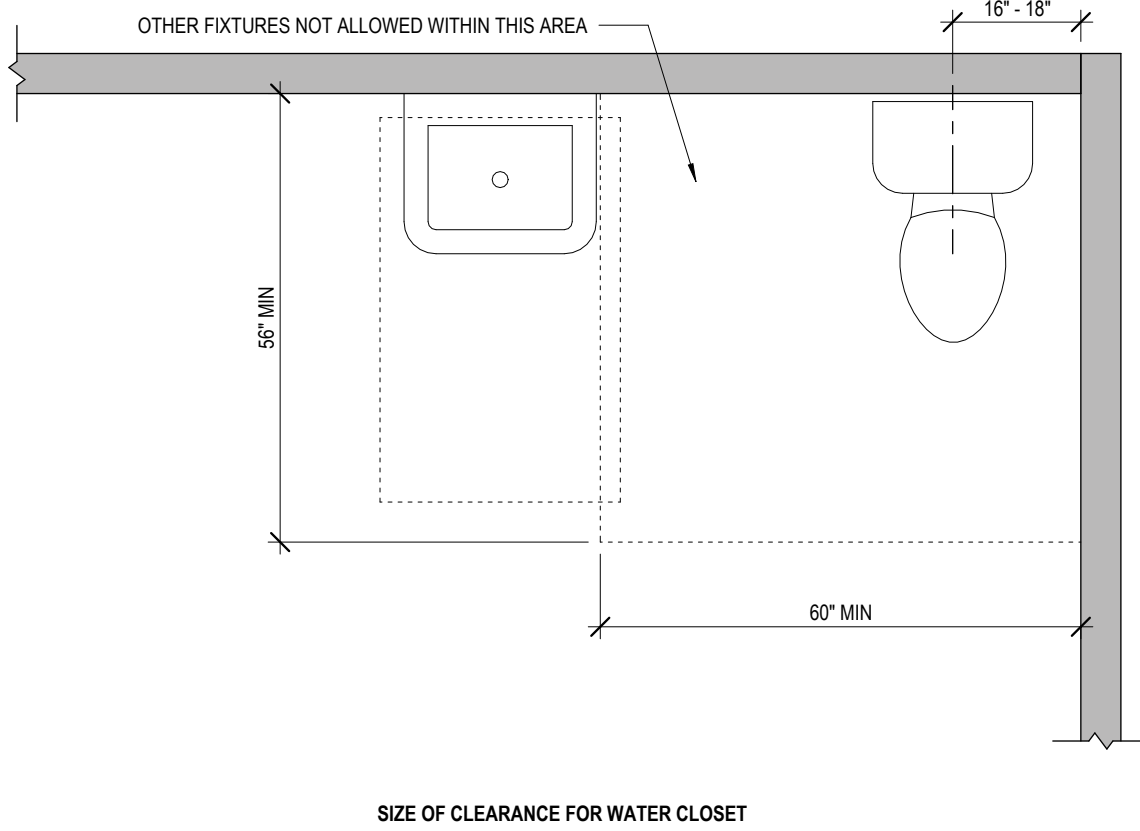
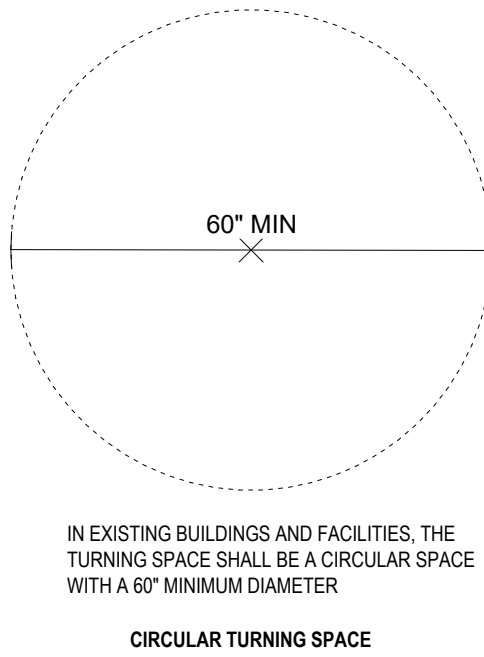
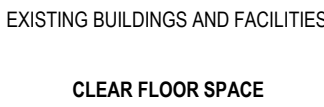
1 | TYPICAL MOUNTING HEIGHTS

3/8" = 1'-0"



WATER CLOSET SEAT HEIGHT AND GRAB BARS

URINAL FRONT ELEVATION



3 | ACCESSIBLE RESTROOM STANDARDS

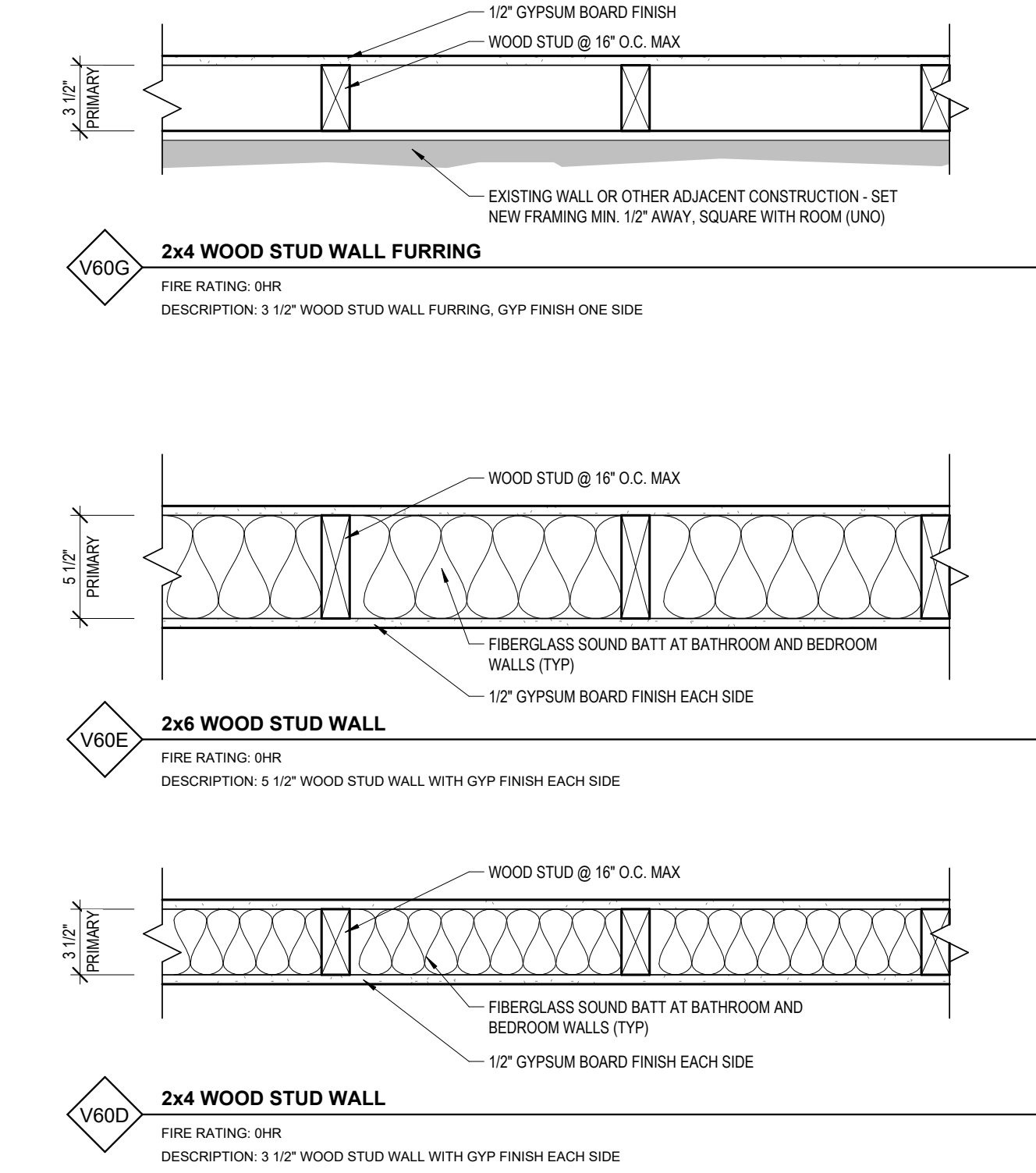
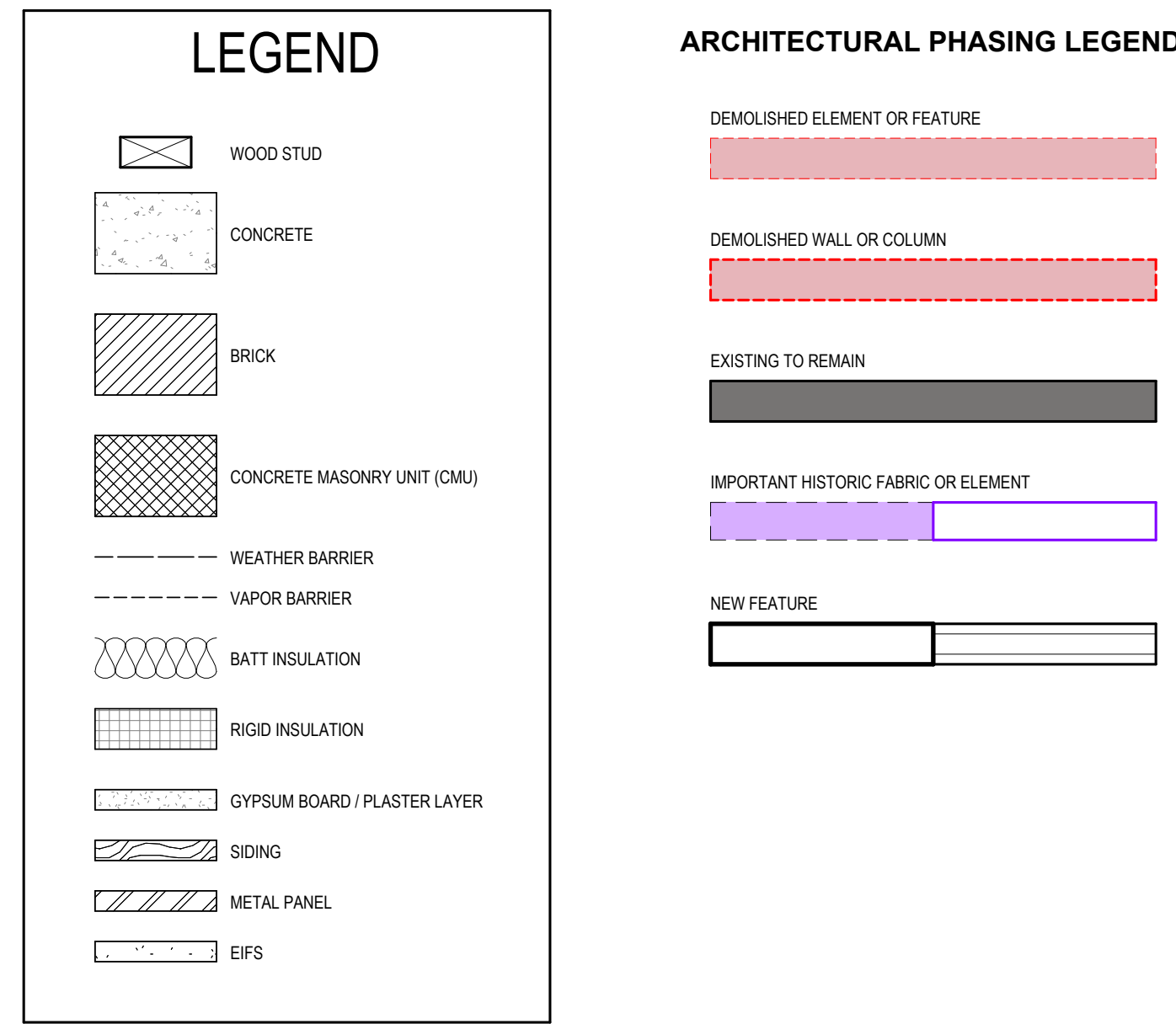
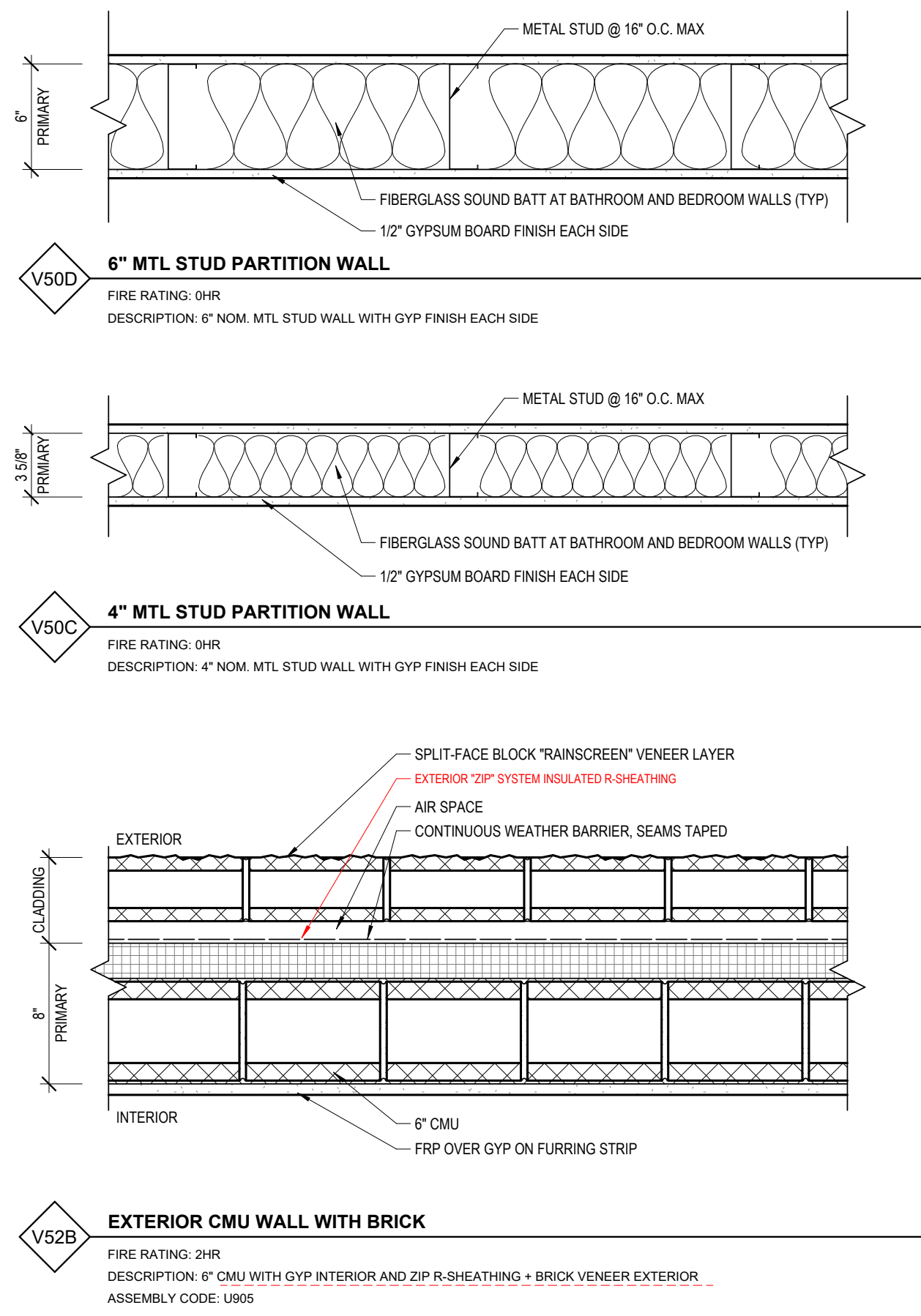
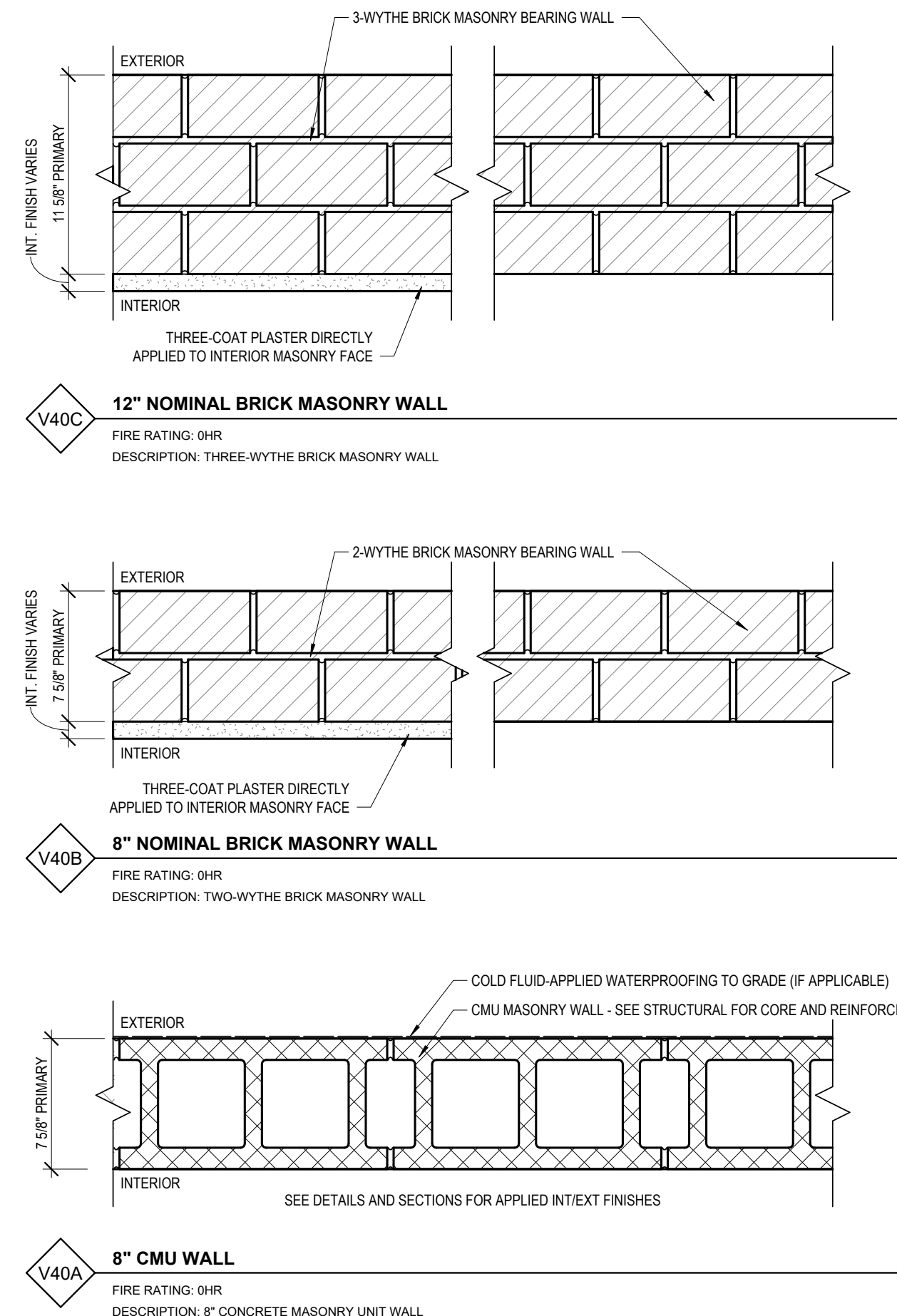
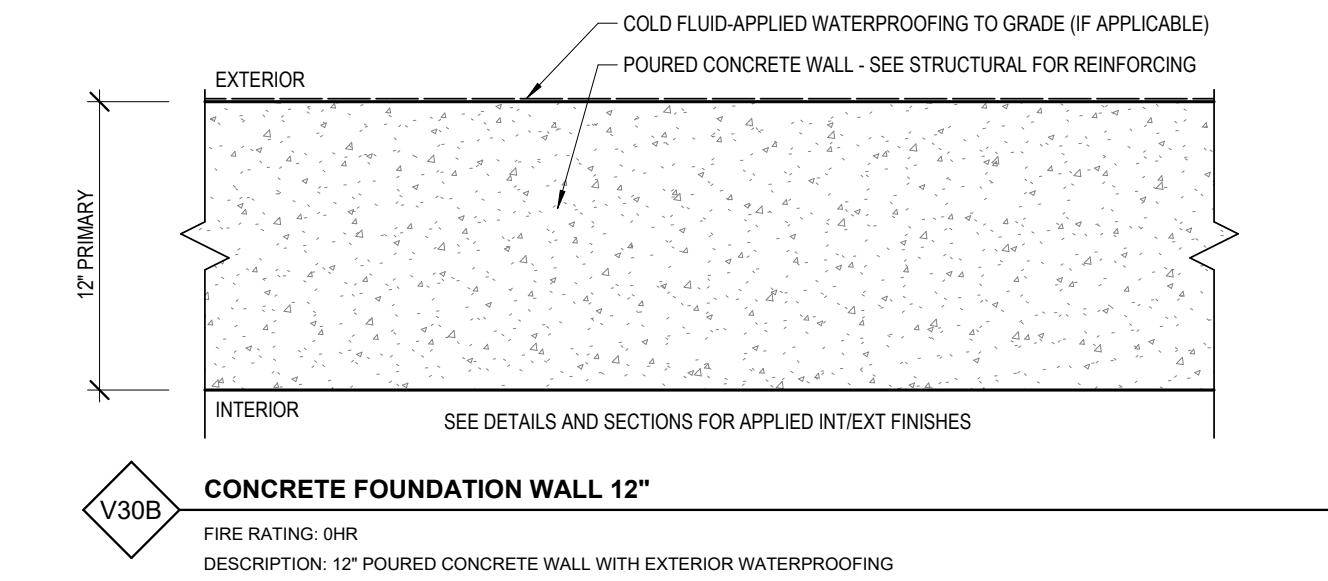
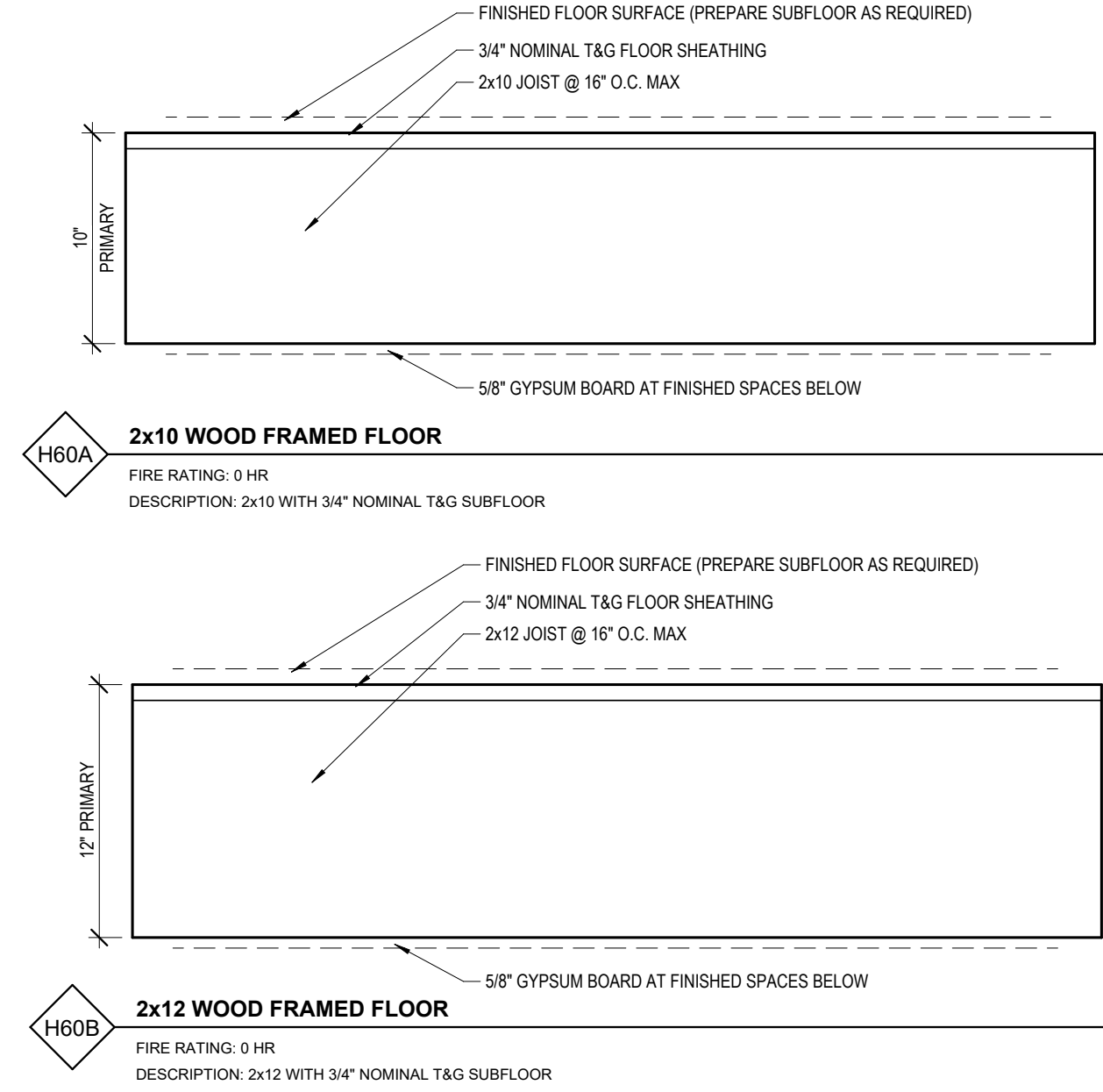
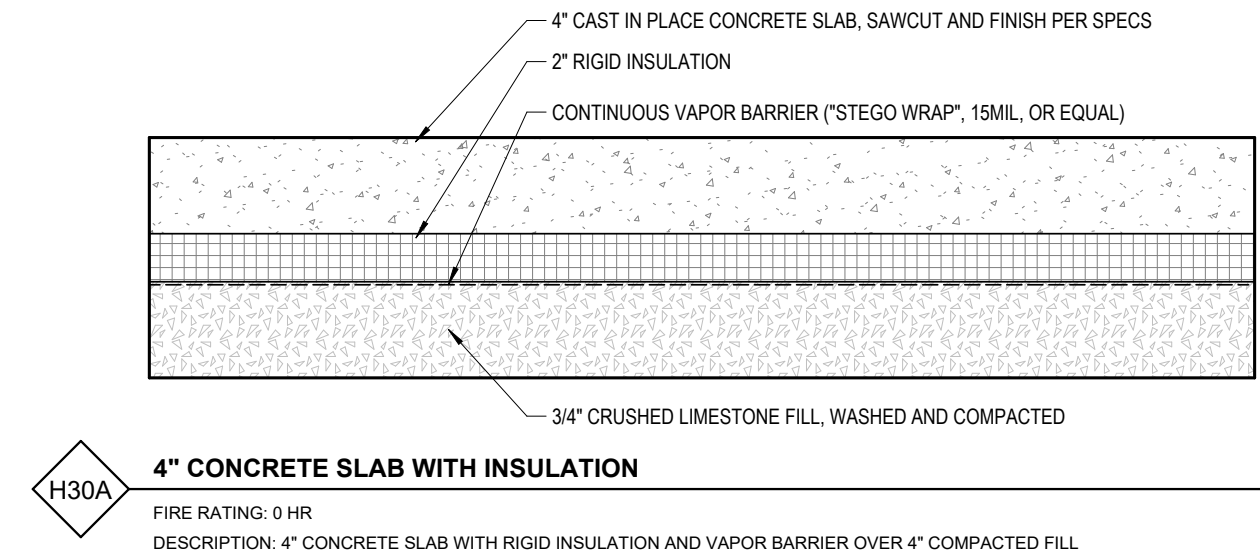
1/2" = 1'-0"





2 HORIZONTAL ASSEMBLY TYPES

1 1/2" = 1'-0"



1 VERTICAL ASSEMBLY TYPES

1 1/2" = 1'-0"



DIVISION 1 - GENERAL REQUIREMENTS

1.1 Definitions. The following definitions apply throughout the Contract Documents.

1.1.1 Architect. Sequel Architecture and Architect may be used interchangeably throughout the Contract Documents.

1.1.2 Contractor and General Contractor. These terms may be used interchangeably to refer to the entity responsible for and contracted to manage construction of the project. In some cases, the Owner may also serve as Contractor or General Contractor.

1.1.3 Install. Unless specifically indicated otherwise, the term "install" as used in these drawings and specifications includes purchasing and transporting the item. All accessories, incidentals, fasteners, sealants, and any other items required for a complete and finished installation shall be included. In some cases, the Owner may purchase items for installation. For items identified as "Purchased by Owner", the Contractor shall complete the installation as described above.

1.1.2 Provide. Unless specifically indicated otherwise, the term "provide" as used in these drawings and specifications means to purchase, transport, and install. All accessories, incidentals, fasteners, sealants, and any other items required for a complete and finished installation shall be included.

1.1.3 Furnish. Unless specifically indicated otherwise, the term "furnish" as used in these drawings and specifications means to purchase and transport to the site.

1.1.4 Pronouns. The pronouns "they" and "their" are used throughout this document as gender neutral and shall be interpreted to represent the identity and number required by the context.

1.2 Contract Documents. The released drawings and specifications, along with the agreements between parties relating to construction of the project represent the Contract Documents. The Contract Documents may be amended by change orders, proposal requests, supplementary instructions, submittal review comments, and other documents released by the Architect through the course of construction and closeout.

1.3 Use of Plans. Use or distribution of these drawings and specifications for bidding, permitting, or construction indicates acceptance of all terms and conditions.

1.4 Drawing Ownership. The drawings, specifications, sketches, reports, presentations, and other documents (in both printed and electronic formats) prepared by the Architect are Instruments of Service for use solely with respect to this Project. The Architect and the Architect's consultants shall be deemed the authors and owners of their respective Instruments of Service, and shall retain all common law, statutory, and other reserved rights, including copyrights.

1.4.1 Copyright and Reproduction. All drawings and specifications produced by Sequel Architecture relating to this project are copyright Sequel Architecture. Approval shall be obtained from Sequel Architecture prior to copying or transmittal of these drawings and specifications in part or in whole.

1.4.2 Digital Files. At the Architect's sole discretion, digital files may be released for use by the contractor, consultants, or Owner. A signed release shall be required prior to distribution of CAD or BIM files.

1.5 Codes and Permitting. In the execution of work, Contractor and Subcontractors shall comply with the governing codes and ordinances as applicable including, but not necessarily limited to the following building code, historic district, zoning, environmental, safety, and energy efficiency. Prior to the start of work, all necessary permits, licenses, tests, certificates, and approvals shall be obtained from the appropriate authorities.

1.5.1 Inspections. Contractor shall be responsible for ordering and coordinating building inspections as required.

1.5.2 General Construction Permit. Unless agreed otherwise by the Owner in writing, the Contractor shall obtain a general building permit if required by the Authority Having Jurisdiction.

1.5.3 Trade Permitting. Subcontractors and trades shall obtain permits as required for all covered work. For Design-Build projects, the subcontractor shall be responsible for obtaining permit drawings.

1.6 Design Intent. The purpose of the drawings and specifications is not to detail every condition of construction. Rather, the purpose is to describe design intent and provide adequate information to bid, permit, and construct the project.

1.7 Errors and Inconsistencies. While reasonable care was taken to provide accurate drawings and specifications, perfection is not guaranteed. Errors and inconsistencies may arise between the drawings and existing conditions, as well as within the drawings and specifications. When such conditions are noted, timely communication is important to resolving them in an efficient and cost-effective manner. Contractor shall notify the Owner and Architect as soon as practically possible of any critical discrepancy found on the drawings or specifications, any substantial conflict between the documents and existing conditions, or any undocumented condition uncovered during demolition and construction.

1.8 General Documentation Standards. Contractor shall clarify questions with the Architect before demolishing existing work, ordering/purchasing materials, or installing any new work.

1.8.1 Dimensions Provided. All dimensions provided in the drawings are subject to field verification against existing conditions and prior installed work.

1.8.2 Dimension Terms. The words "ALIGN," "HOLD," and "FIXED" as used in the contract documents shall supersede any dimensional information otherwise given.

1.8.3 Field Verification. Dimensions noted "VERIFY IN FIELD," "VIF," or "+/-" are approximate or assumed and shall be verified by the contractor in the field. Make adjustments in accordance with the design intent based on verified dimensions.

1.8.4 Detail Drawings. Detail drawings describe the construction at specific locations and also provide "design intent". Manufacturer instructions and installation requirements for referenced products and items shall be incorporated into the detail by extension.

1.8.5 Similar Conditions. When similar materials or relationships occur throughout the project, provide construction that aligns with the design intent, consistent with manufacturer installation instructions and standard practice for comparable projects in the region.

1.8.6 Typical Conditions. Drawings, details, and notes using the words "TYPICAL," "TYP," or "SIMILAR" in one location shall be replicated in all corresponding situations throughout the project.

1.8.7 Excluded Work. Work explicitly excluded from the scope is indicated as "NIC" or "NOT IN CONTRACT". In rehabilitation projects, the work area is indicated on the drawings.

1.9 Contractor Responsibilities, General. The Contractor shall be responsible for coordination and completion of the work.

1.9.1 Owner as Contractor. In the case that the Owner is also serving as Contractor, the Owner assumes responsibility for all items in this Specification identified as Contractor responsibilities including, but not limited to jobsite safety, permitting and inspection coordination and scheduling of work, providing items not provided by subcontractors, preparation/layout and review of work, notifications to the architect, payment to subcontractors, and any other activities typically performed by a Contractor on similar projects. Any of these responsibilities may be delegated by the Owner to a subcontractor or consultant.

1.9.2 Design Intent. It shall be the Contractor's responsibility to provide a complete project in accordance with the design intent expressed in the Contract Documents.

1.9.3 Coordination. Prior to construction, Contractor shall coordinate and review all trades and rough construction with finishes and fixtures for proper preparation and sequencing. Contractor shall coordinate all trades and methods of construction as required for completion of the project in accordance with the design intent illustrated in the contract documents.

1.9.4 Jobsite Safety. Jobsite safety procedures, safety training, fall protection, emergency protocols, and monitoring of all workers (including subcontractors) working on the job site shall be the responsibility of the Contractor.

1.9.5 Traffic Control. Contractor or subcontractors under the contractor shall provide temporary barriers, monitoring, and traffic control as required to secure the site during construction. Such controls shall be approved by the AHJ if required.

1.10 Temporary Support. Contractor or subcontractor working under the contractor shall provide temporary bracing and support to ensure structural stability of new work and existing conditions throughout the course of the project.

1.11 Layout. Contractor shall lay out all new work prior to construction or fabrication.

1.11.1 Locates and Property Lines. Utilities and property lines shall be located prior to construction. Excavation work shall not proceed prior to "One-Call" marking of utilities.

1.11.2 Questions and Uncovered Problems. After new work is laid out, any questions or problems identified shall be reported in a timely manner to the Architect and Owner for consideration and determination.

1.11.3 Acceptance of Existing Conditions. Start of new work, continuation of work, and installation of new equipment or finish materials but the Contractor or Subcontractor shall indicate that the underlying conditions have been reviewed and accepted. Remediation of accepted conditions that fail to meet the requirements of the Contract Documents shall be the responsibility of the Contractor.

1.12 Hazardous Materials. It is not the intent or purpose of the drawings to identify any existing hazardous materials or conditions. Suspect hazardous materials or conditions uncovered through the course of work shall be immediately notified Architect and Owner. Owner shall be responsible for remediating hazardous materials under a separate contract.

1.13 Procedures. Contractor shall follow the Architect's construction administration procedures.

1.13.1 Deviations From the Contract Documents. Deviations from the contract documents must be approved by the Architect in writing. In the absence of such approval, the Contractor assumes responsibility for remediating and correcting deviations, including all cost and construction implications.

1.13.2 Clarifications to the Drawings and Specifications. Clarifications to the drawings and specifications that do not affect scope or construction cost shall be issued as "ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS," or "ASI".

1.13.3 Change Orders. Changes to the work must be approved in advance through the Architect's Change Order process. Change Orders may result in an increase, decrease, or no change to the contract amount. Such changes must be approved in advance by the Owner.

1.13.4 Submittals. If included in the Owner-Architect and Owner-Contractor agreements, the Architect shall review identified submittals in accordance with the Architect's standard submittal review process. Contractor shall provide the requested submittals prior to ordering, purchasing, or installing fixtures, products, and materials.

1.13.5 Pay Application. If included in the Owner-Architect and Owner-Contractor agreements, the Contractor shall submit regular Pay Applications on the agreed-upon form during the course of the work.

1.13.6 Lien Waivers. Contractor shall submit lien waivers for all work performed, including Subcontractors and Suppliers, as part of standard pay applications to the Owner.

1.13.7 Closeout. The Contractor shall follow the Architect's standard closeout procedures and any additional requirements agreed to in the Contract Documents. Prior to Substantial Completion of the

work, the contractor shall prepare a Punch List identifying any remaining work to be performed and any remaining items to be installed. The Architect and Owner may perform a Punch List walkthrough to confirm and add to the list.

1.13.8 Closeout Manual. Contractor shall provide to the owner the following items in a "Closeout Manual":

- All product and fixture warranties
- All fixture and equipment operation manuals
- Contractor warranty documentation
- Equipment and fixture cutsheets
- List of finish colors and materials installed
- List of Subcontractors who worked on the project
- Certificate of Occupancy
- Final Permit approvals/signatures

1.14 "Attic Stock" Materials. If requested by the owner, Contractor shall retain excess finish materials (tie, paint, flooring, etc.) for the owner. Protect such materials from damage until turnover to the Owner.

DIVISION 2 - SITE WORK

2.1 General Requirements. All earthwork and grading shall be performed in such a manner as to not weaken or impair the structural integrity of any existing structure to remain, adjacent buildings, and new work as applicable.

2.1.1 Safety. During excavation, Contractor shall maintain protection in compliance with applicable local, State, and Federal requirements to ensure safety of workers.

2.1.2 Restricted Access and Fall Protection. Prior to backfill, Contractor shall provide and maintain fences and barricades at the perimeter of all excavations to prevent unauthorized access.

2.1.3 SWPP. Contractor shall provide erosion control measures as required by the Authority Having Jurisdiction (AHJ).

2.2 Fill. Fill shall be installed free of construction debris, large rocks, concrete/mortar, masonry debris, and any other unacceptable backfill material.

2.2.1 Rock Backfill. Rock backfill shall be free of organic matter. Limestone fill shall be washed clean, with consistent sized pieces unless noted otherwise on the drawings.

2.2.2 Lifts and Compaction. Fill shall be installed in appropriate lifts and compacted to ensure consistent required bearing capacity is achieved and that required grades are maintained after setting.

2.3 Finish Grade. Finish grade around exterior walls in the work area or any area disturbed through the course of the Work shall slope away from the foundation at a minimum of 1" per 10'-0" horizontal. If this cannot be achieved, slope shall conform with the minimum required by code.

2.4 Utilities. Contractor shall coordinate all utility locations and connections with the applicable utility company or public provider.

DIVISION 3 - CONCRETE

Not Applicable

DIVISION 4 - MASONRY

4.1 Masonry, General. Masonry work shall include all materials, masonry units, ties/fasteners, flashings, sealants, labor, equipment, tools, and incidentals required to implement the intent of the design drawings and specifications.

4.1.1 Coordination. Coordinate masonry work with adjacent and attached work such that waterproofing and other envelope details can be fully implemented, attached construction can be fully supported, and proper sequencing implemented.

4.1.2 Scope. Masonry scope includes:

- Existing Masonry: Repair deteriorated joints at parapet interior, replace damaged units, repair flashings/sealants

4.2 Standards. Install and protect/cure all masonry work in accordance with the applicable Brick Institute Association (BIA) recommendations. For work on historic buildings as applicable, buildings where masonry work impacts existing masonry, and projects receiving historic tax credits, all masonry work shall conform to the National Park Service Historic Preservation Brief #2.

4.3 Existing Conditions. New masonry work adjacent to or within existing masonry shall match in masonry unit (salvaged where possible), joint profile, mortar mix, and mortar color.

4.4 Masonry Units. Masonry units shall conform to the following.

4.4.1 Types. Provide cast veneer, clay masonry units, and CMU in quantities and shapes as required to fully implement the design intent described in the drawings and specifications.

4.4.2 First Run. Provide new manufactured units for new work, unless specifically noted otherwise.

4.4 Mortar Joints. Mortar work shall conform to the following.

4.4.1 Mortar. Provide mortar compatible in composition and hardness with the associated masonry unit. For repointing and replacement work on historic brick, provide a mortar analysis and matching mortar mix.

4.4.2 Repointing. Rake out deteriorated mortar, minimum depth to equal joint height. Power tools/grinders are shall not be used except as specifically approved by the Architect.

4.4.3 Profile. All joints shall be full and even. Unless noted otherwise, new mortar joints shall be concave radius struck joints, tooled and brushed.

4.4.4 Curing. Cover all finished and unfinished walls in accordance with BIA recommended practice for mortar curing during non-working hours.

4.4.5 Cleaning. After mortar has hardened, thoroughly clean exposed masonry surfaces of excess mortar, and foreign matter. Use wood scrapers, stiff nylon or fiber brushes, and clean potable water. If sprayed, water and other cleaning agents shall be applied at low pressure. Do not use metal scrapers or brushes.

4.5 Flashings and Coordination. Install ties, accessories, flashings, and sealants as indicated on the drawings and in accordance with the International Masonry Institute Masonry Detailing Series as applicable to the specific products utilized.

DIVISION 5 - METALS

Not Applicable

DIVISION 6 - WOODS AND PLASTICS

6.1 Woods and Plastics, General. Rough and finish carpentry work shall include all materials, fasteners, labor, equipment, tools, and incidentals as required to implement the intent of the design drawings and specifications.

6.1.1 Additional Specifications. Additional information and specifications may be provided on Structural drawings and notes. Refer to the drawing set and coordinate as required.

6.2 Alteration. Cutting, notching, and alterations of structural members is expressly forbidden except as detailed in the structural drawings or as specifically allowed in the prevailing building code.

6.3 Verification. Verify rough carpentry dimensions with required clearances and finish dimensions given in the drawings. See Division 1 Specifications for additional information on layout, dimensioning conventions, and existing conditions.

6.4 Wood Material Grade. Provide materials as described below.

- Non-Structural Rough Framing: Construction grade, crown-aligned
- General Structural Framing: #2 or better
- Roof Sheathing: Match Existing

6.5 Framing. Rough framing shall be installed in accordance with structural drawings (if provided) and applicable building codes.

6.5.1 Blocking. Install treated wood blocking as required for parapet coping

6.6 Treated Lumber. Provide ACO pressure treated lumber at all plates, sleepers, and sills directly adjacent to concrete or masonry. Provide fire treated lumber and engineered wood materials as required in rated assemblies and in other locations as required by code.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

7.1 Thermal and Moisture Protection, General. Thermal and moisture protection work shall include all materials, fasteners, adhesives, labor, equipment, tools, and incidentals required to implement the intent of the design drawings and specifications.

7.1.1 Thermal and Moisture Protection Systems. The building envelope elements work together as a complete system. For all thermal and moisture protection products, work shall conform rigorously to the manufacturer's written instructions and details for a complete installation.

7.1.2 Compatibility. Confirm that all fasteners, sealants, adhesives, and incidentals used as part of an installation are compatible with the adjacent materials.

7.2 Penetrations and Joints. Provide sealants, caulking, flashings, and weatherstripping at all exterior joints, openings, penetrations, and transitions in accordance with standard practice for comparable projects in the region and as detailed in the architectural drawings. Coordinate such work with manufacturer installation instructions.

7.6 Insulation. Open and accessible wall, roof, and floor cavities between conditioned and unconditioned spaces shall be insulated in accordance with the prevailing building code. Insulation type, R-Value, flame spread, and installation details shall align with building code requirements. Provide an ignition barrier at insulation faces in exposed enclosed spaces as required.

- Flat Roof (Insulation Above): R-30

7.7 Sealants. Provide manufacturer-recommended sealants at all material transitions.

7.8 Roofing. Roofing membrane shall be installed in strict accordance with the manufacturer instructions and standard practice for comparable projects in the region, and in accordance with all warranty requirements.

7.10 Gutters and Downspouts. Gutter and downspout systems, shall be sized adequately to manage runoff from the roof system. Provide a path from the roof to storm sewer with continuous positive drainage. Provide all necessary items for a complete system including, but not necessarily limited to edge trim, gutter, hangers, spikes/ferrules, miters, downspouts, elbows, straps, outlet, and strainer.

DIVISION 8 - OPENINGS

Not Applicable

DIVISION 9 - FINISHES

Not Applicable

DIVISION 10 - SPECIALTIES

Not Applicable

DIVISION 11 - EQUIPMENT

Not Applicable

DIVISION 12 - FURNISHINGS

Not Applicable

DIVISION 21 - FIRE SUPPRESSION

Not Applicable

DIVISION 22 - PLUMBING

Not Applicable

DIVISION 23 - MECHANICAL

Not Applicable

DIVISION 26 - ELECTRICAL

26.1 Electrical, General. All electrical work referenced in the drawings and specifications is to be conducted under a "design-build" contract arrangement. Electrical references in the drawings and specifications are conceptual in nature and shall be used only to define the design intent and scope for preliminary pricing. All work shall be performed in conformance with applicable codes.

26.2 Design and Permitting. The General Contractor and Trade Subcontractor shall be responsible for design and installation of a complete and proper functioning system in accordance with the design intent and in compliance with applicable codes.

26.2.1 Engineering. If required, systems shall be designed and certified by a professional engineer holding a current license in the state of Iowa. Such engineer shall be retained by the Owner or Contractor.

26.2.2 Design Coordination. Mechanical design and equipment cutsheets shall be submitted to the Owner and Architect for review and acceptance prior to permit application.

26.2.3 Permit Required. If a trade permit is required, the General Contractor or Trade Contractor shall cause submittal drawings to be prepared as required by the local AHJ. Contractor shall be responsible for permitting and inspection fees unless otherwise agreed with the Owner in writing.

26.2.4 Testing. Trade Contractor shall conduct all testing and arrange for permit inspections as required by the local jurisdiction.

26.3 Materials and Fixtures. Systems are to be of first-run quality, utilizing new materials at all new work. No salvaged materials or fixtures are to be reused without prior approval of the Owner and Architect.

26.3.1 Reuse of Existing Work. If the Trade Contractor proposes to reuse any existing electrical equipment or fixture (interior or exterior), prior to acceptance by the Architect or Owner, the Contract shall demonstrate that such items, when utilized as part of the new system, will provide a complete and operational system.

26.3.2 Fixtures. Light fixtures shall be selected by the Owner and provided by the Trade Contractor unless agreed otherwise in writing.

26.4 Structural Modification. Cutting, boring, or notching of structural members shall not be permitted, except as expressly allowed in the prevailing building code, as detailed on Structural drawings, or expressly approved in writing by a qualified structural engineer.

DIVISION 28 - ELECTRONIC SAFETY AND SECURITY

28.1 Security System. Provide a temporary security system with backup power.

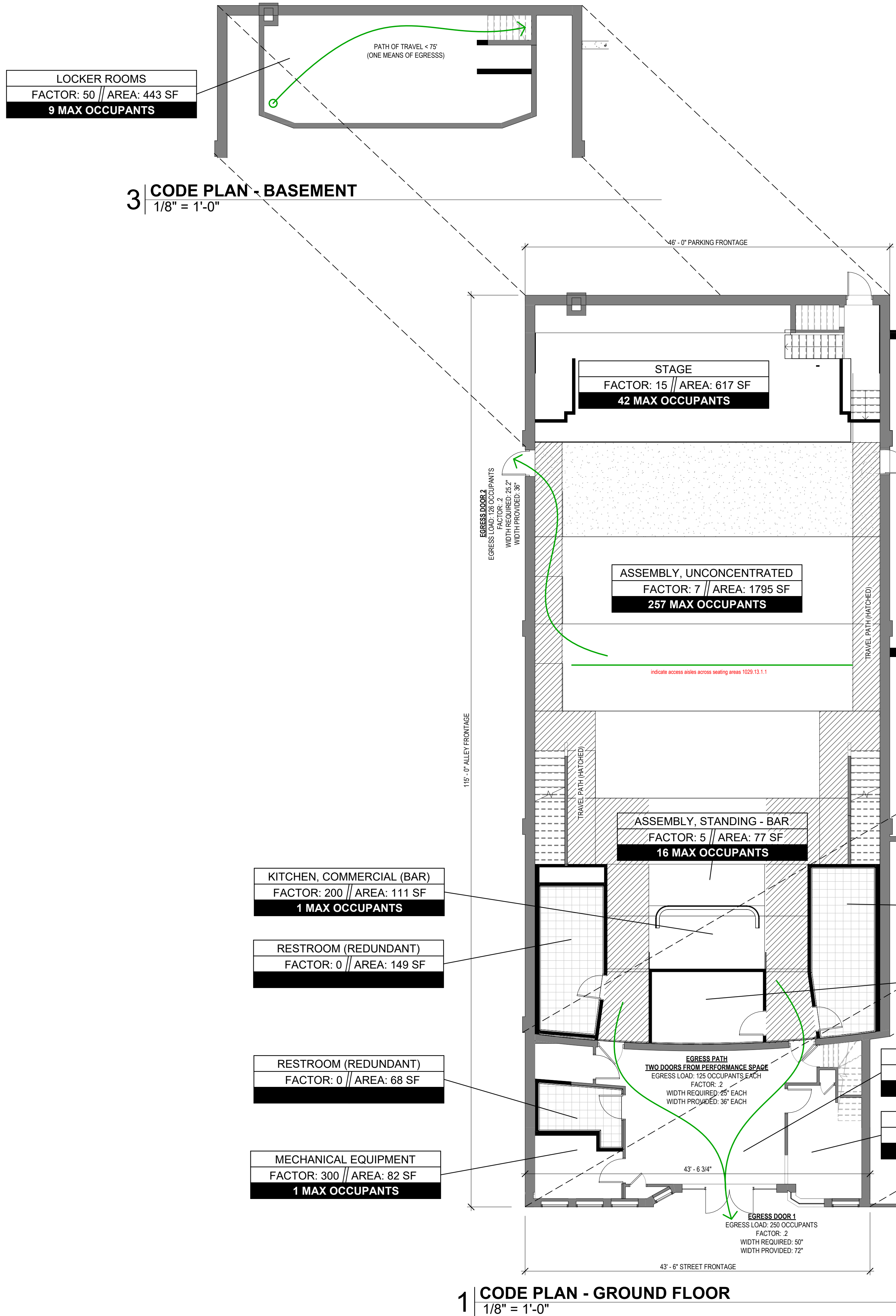
DIVISION 32 - EXTERIOR IMPROVEMENTS

Not Applicable



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OCCUPANT LOAD						
ROOM NUMBER	ROOM NAME	FUNCTION (IBC 1004.5)	AREA	LOAD FACTOR	OCC LOAD	NOTES
BASEMENT						
207	GREENROOM	LOCKER ROOMS	443 SF	50	9	
MAIN FLOOR						
101	LOBBY	LOBBY (REDUNDANT)	376 SF	0		REDUNDANT SPACE (NO ADDITIONAL LOAD)
102	AUDITORIUM	ASSEMBLY, UNCONCENTRATED	1795 SF	7	257	
103	FAMILY RSTRM	RESTROOM (REDUNDANT)	88 SF	0		REDUNDANT SPACE (NO ADDITIONAL LOAD)
104	UTIL	MECHANICAL EQUIPMENT	82 SF	300	1	
105	TICKETS	BUSINESS AREAS	126 SF	150	1	
106	BAR BACK	KITCHEN, COMMERCIAL (BAR)	111 SF	200	1	
107	BAR	ASSEMBLY, STANDING - BAR	77 SF	5	16	
108	KITCHEN	KITCHEN, COMMERCIAL	650 SF	200	4	
109	STAGE	STAGE	617 SF	15	42	
110	STORAGE	STORAGE	128 SF	300	1	
111	WOMEN'S RESTROOM	RESTROOM (REDUNDANT)	170 SF	0		REDUNDANT SPACE (NO ADDITIONAL LOAD)
112	MEN'S RESTROOM	RESTROOM (REDUNDANT)	149 SF	0		REDUNDANT SPACE (NO ADDITIONAL LOAD)
SECOND FLOOR						
201	BALCONY	ASSEMBLY, UNCONCENTRATED	545 SF	15	37	MEZZANINE LEVEL IN MAIN AUDITORIUM SPACE
202	STORAGE	STORAGE	260 SF	300	1	
203	OFFICE	BUSINESS AREAS	241 SF	150	2	
204	MECHANICAL		247 SF	300	1	
205	HALL		245 SF	0		REDUNDANT SPACE (NO ADDITIONAL LOAD)
206	RESTROOM		57 SF	0		REDUNDANT SPACE (NO ADDITIONAL LOAD)



CODE ANALYSIS

PROJECT DATA AND SUMMARY

PROJECT DESCRIPTION

Historic rehabilitation of an existing theater building, including a kitchen addition.

APPLICABLE CODES

The Authority Having Jurisdiction (AHJ) over this project is the City of Des Moines, IA. The AHJ has adopted the following building codes as amended:

Building Code (new):	2018 International Building Code (IBC)
Building Code (exist):	2018 International Existing Building Code (IEBC)
Plumbing Code:	State Plumbing Code (2021 UPC)
Mechanical Code:	2021 State Mechanical Code (IMC)
Fire Code:	2018 International Fire Code
Fuel Gas Code:	2018 International Fuel Gas Code (IFGC)
Energy Code:	2015 International Energy Conservation Code (IECC)
Electrical Code:	2020 National Electrical Code (NEC)

ACCESSIBILITY, GENERAL

The project is designed to comply with the 2009 ICC A117.1 (as referenced from Chapter 11 of the 2018 IBC) and 2010 ADA Guidelines for Accessible Design as applicable.

DEFERRED SUBMITTALS

The following submittals are deferred and shall be submitted for review in accordance with the applicable City process/approvals prior to construction and/or installation:

- Exterior Building Signage is excluded from this scope and shall be approved through the AHJ as required under separate cover.
- Fire Protection/Sprinkler - Sprinkler required, design criteria provided in this submittal. Shop drawings to be prepared by a qualified engineer.

DESIGN VALUES

CONSTRUCTION TYPE: V-B

OCCUPANCY: A-2

Non-separated as required by section 508.4 in the International Building Code.

BUILDING SCOPE/DIMENSIONS

Bulk building dimensions are as follows:

Stories:	2 = 2 Max	<<< COMPLIES
Height:	23' < 60' Max	<<< COMPLIES
Floor Area in SF (A-2):	5,960 Gross < 18,000 Max	<<< COMPLIES
Building Perimeter:	204.5' (43.5' Street Frontage)	
Work Area in SF:	5,960 SF (Alt Level 3)	<<< Less than 50%

ALLOWABLE BUILDING HEIGHTS AND AREAS

The proposed building use/occupancy and type meet Allowable Building Heights and Area requirements with Separated Uses. See IBC Chapter 5 section in this Code Analysis for additional information.

AUTOMATIC SPRINKLER SYSTEM

Not provided.

PLUMBING FIXTURE COUNTS

Plumbing counts from IBC Ch. 29 Table 2902.1

Occupants for Fixture Count: A-2 + B + Patio (not included in egress calculations)

A-2	199 F	199 M	=	398 Total
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Assembly (A-2) Fixture Count

	Male	Female	G/N	Total
WC	2 WC + 1 U	4	2	9 (8 required)
Lav	1	1	2	6 (4 required)

Accessible stalls = 3 (1M, 1F, 1G/N)

Drinking Fountain not provided (bar/lounge A-2 use)

Service Sink (provided in storage area)

2018 INTERNATIONAL EXISTING BUILDING CODE

CHAPTER 2 DEFINITIONS

**WORK AREA.** That portion or portions of a building consisting of all reconfigured spaces as indicated on the construction documents. Work area excludes other portions of the building where incidental work entailed by the intended work must be performed and portions of the building where work not initially intended by the owner is specifically required by this code.

CHAPTER 3 PROVISIONS FOR ALL COMPLIANCE METHODS

SECTION 301 ADMINISTRATION

**301.3.2 Work area compliance method.** Alterations, additions, and changes of occupancy complying with the applicable requirements of Chapters 6 through 12 of this code shall be considered in compliance with the provisions of this code.

SECTION 302 GENERAL PROVISIONS

**302.4 Existing materials.** Materials already in use in a building in compliance with requirements or approvals in effect at the time of their erection or installation shall be permitted to remain in use unless determined by the building official to be unsafe.

**302.6 Occupancy and use.** Where determining the appropriate application of the referenced sections of this code, the occupancy and use of a building shall be determined in accordance with Chapter 3 of the IBC.

*The building occupancies are determined to be A-2 (Restaurants) in accordance with Chapter 3 of the International Building Code*

SECTION 305 ACCESSIBILITY FOR EXISTING BUILDINGS

**305.4 Change of occupancy.** Existing buildings that undergo a change of group or occupancy shall comply with this section.

*Accessible path, openings, restrooms, and other elements provided at all locations physically feasible.*

CHAPTER 4 REPAIRS

SECTION 402 BUILDING ELEMENTS AND MATERIALS

**402.1 Glazing in hazardous locations.** Replacement glazing in hazardous locations shall comply with the safety glazing requirements of the International Building Code.

SECTION 403 FIRE PROTECTION

**403.1 General.** Repairs shall be done in a manner that maintains the level of fire protection provided.

SECTION 404 MEANS OF EGRESS

**404.1 General.** Repairs shall be done in a manner that maintains the level of protection provided for the means of egress.

CHAPTER 5 PRESCRIPTIVE COMPLIANCE METHOD

Not Applicable

CHAPTER 6 CLASSIFICATION OF WORK

SECTION 603 ALTERATIONS LEVEL 3

**604.1 Scope.** Level 3 alterations apply where the work area exceeds 50 percent of the building area.

CHAPTER 7 ALTERATIONS LEVEL 1

SECTION 702 BUILDING ELEMENTS AND MATERIALS

**702.1 Interior finishes.** Newly installed interior wall and ceiling finishes shall comply with Chapter 8 of the IBC.

**702.2 Interior floor finish.** New interior floor finish, including new carpeting used as an interior floor finish material, shall comply with Section 804 of the IBC.

CHAPTER 8 ALTERATIONS LEVEL 2

SECTION 801 GENERAL

**801.3 Compliance.** New construction elements, components, systems, and spaces shall comply with the requirements of the IBC.

**802.4 Interior finish.** The interior finish of walls and ceilings in exits and corridors in any work area shall comply with the requirements of the IBC.

SECTION 803 FIRE PROTECTION

**803.2 Automatic sprinkler systems.** Automatic sprinkler systems shall be provided in accordance with the IBC.

*Automatic sprinkler system not required.*

SECTION 805 MEANS OF EGRESS

**805.7.1 Means of egress lighting.** Means of egress in all work areas shall be provided with artificial lighting in accordance with the requirements of the IBC.

**805.8.1 Exit signs in work areas.** Means of in work areas shall be provided with exit signs in accordance with the requirements of the IBC.

SECTION 807 ELECTRICAL

**807.1 New installation.** Newly installed electrical equipment and wiring relating to work done in any work area shall comply with all applicable requirements of NFPA 70 except as provided for in Section 807.3

SECTION 808 MECHANICAL

**808.1 Reconfigured or converted spaces.** Reconfigured spaces intended for occupancy and spaces converted to habitable or occupiable space in any work area shall be provided with natural or mechanical ventilation in accordance with the International Mechanical Code.

SECTION 810 ENERGY CONSERVATION

**810.1 Minimum requirements.** Alterations shall conform to the energy requirements of the IECC or IRC as they relate to new construction only.

CHAPTER 9 ALTERATIONS-LEVEL 3

**904.2 Fire alarm and detection systems.** Fire alarm and detection shall be provided in accordance with Section 907 of the International Building Code as required for new construction.

CHAPTER 10 CHANGE OF OCCUPANCY

SECTION 1011 CHANGE OF OCCUPANCY CLASSIFICATION

**1011.2.1 Fire sprinkler system.** Fire sprinkler system shall be provided based on the new occupancy in accordance with Chapter 9 of the IBC throughout the area where the change of occupancy occurs.

**1011.2.2 Fire alarm and detection system.** Fire alarm and detection system shall be provided throughout the area where the change of occupancy occurs.

**1011.4.1 Means of egress for change of use to a higher-hazard category.** Where a change of occupancy classification is made to a higher-hazard category, the means of egress shall comply with Chapter 10 of the IBC.

*The proposed change from Retail (B) to Restaurant (A-2) is a higher-hazard category per table 1011.4. Means of egress per Ch10 is provided.*

**1011.5.1 Height and area for change to a higher-hazard category.** Where a change of occupancy classification is made to a higher-hazard category, the means of egress shall comply with Chapter 5 of the IBC.

*The proposed change from Retail (B) to Restaurant (A-2) is a higher-hazard category per table 1011.5. Building meets the height and area requirements for the higher hazard.*

**1011.6.2 Exterior wall rating for change of occupancy classification to an equal or lesser-hazard category.** Where a change of occupancy classification is made to an equal or lesser-hazard category, existing exterior walls, including openings, shall be accepted.

*The proposed change from Retail (B) to Restaurant (A-2) is an equal-hazard category per table 1011.6. Building exterior wall ratings remain.*

CHAPTER 11 ADDITIONS

Not Applicable

CHAPTER 12 HISTORIC BUILDINGS

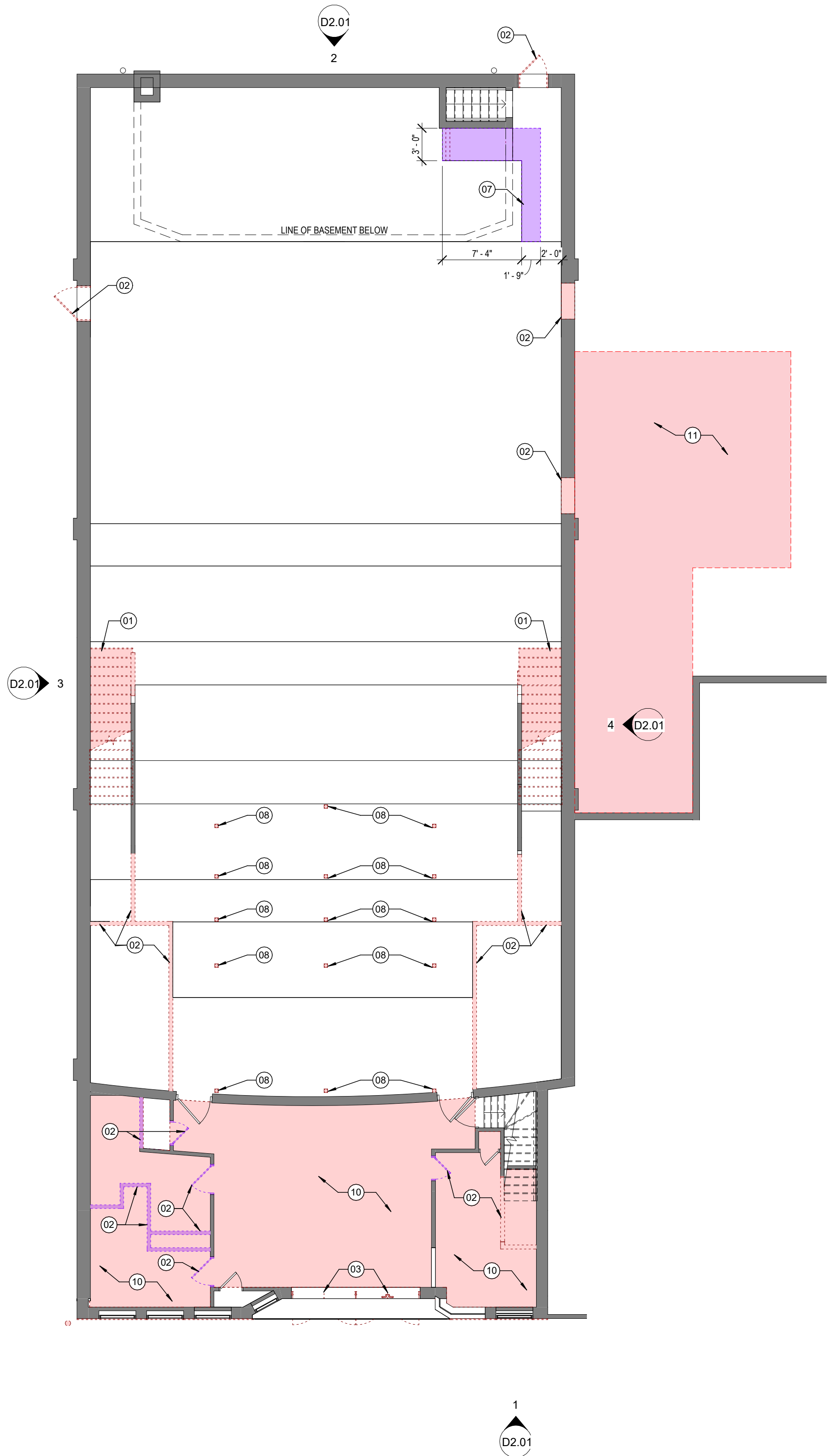
SECTION 1201 GENERAL

**1201.1 General.** This chapter is intended to provide the means for preservation of historic buildings.

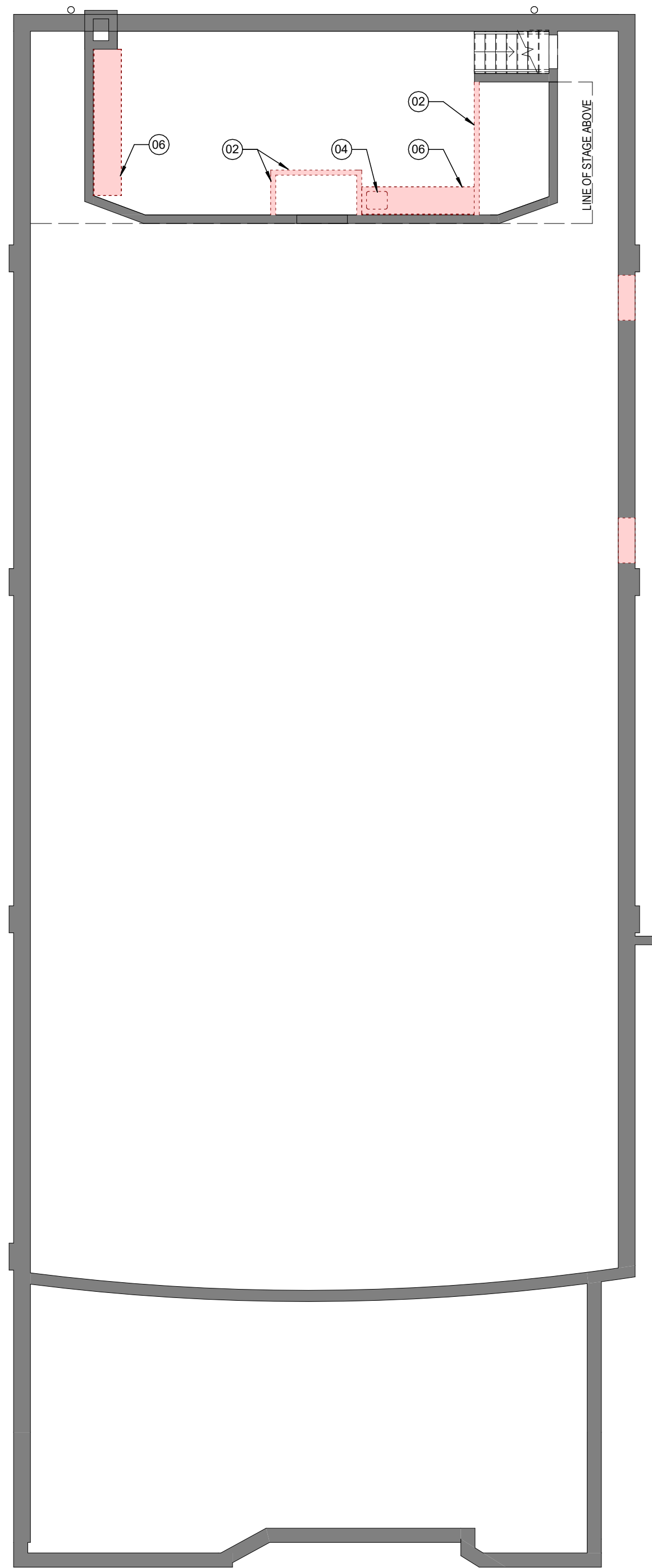
*This building is included as a contributing building in the Highland Park Business District Historic District and the project will be receiving Historic Tax Credits / reviewed by the State Historic Preservation Office of Iowa and the National Park Service.*



2 | SELECTIVE DEMO - 1ST FLOOR  
1/8" = 1'-0"



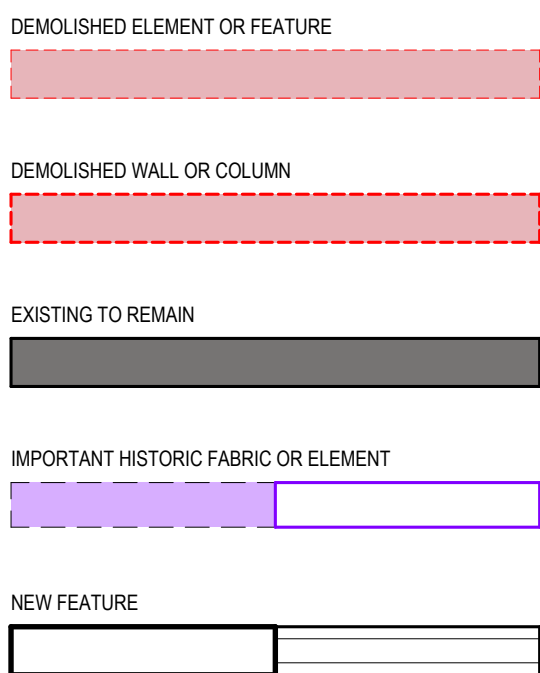
1 | SELECTIVE DEMO - BASEMENT  
1/8" = 1'-0"



KEYNOTE - SELECTIVE DEMO PLAN

- 01 REMOVE EXISTING STAIR  
02 REMOVE EXISTING WALLS, WALL PORTIONS, AND DOORS INDICATED BY DASHED LINES, PROVIDE TEMPORARY SUPPORT AS REQUIRED DURING DEMOLITION AND CONSTRUCTION (TYP)  
03 REMOVE EXISTING ALUMINUM STOREFRONT SYSTEM BACK TO MASONRY OPENING, PREPARE OPENING FOR INSTALLATION OF NEW STOREFRONT/ENTRY SYSTEM  
04 REMOVE EXISTING FIXTURE, SUPPLY, AND RETURN LINES TO SOURCE (TYPICAL ALL PLUMBING)  
05 REMOVE EXISTING PLYWOOD INFILL  
06 REMOVE CABINETS, COUNTERS, AND SHELVES THROUGHOUT (TYP)  
07 REMOVE PORTION OF STAGE FLOOR ACCORDING TO PLAN  
08 REMOVE EXISTING STEEL COLUMNS  
09 REMOVE EXISTING MEZZANINE  
10 REMOVE FINISH TILE FLOOR  
11 REMOVE NON-ORIGINAL ADDITION  
12 REMOVE EXISTING MECHANICAL EQUIPMENT

ARCHITECTURAL PHASING LEGEND



GENERAL NOTES - SELECTIVE DEMO

- GENERAL**  
A. SEE HISTORIC REHABILITATION NOTE IN TITLE BLOCK AND REFER TO THE SHEET SPECIFICATION FOR ADDITIONAL SELECTIVE DEMOLITION REQUIREMENTS.
- TEMPORARY SUPPORT**  
B. PROVIDE SHORING AND/OR TEMPORARY SUPPORT TO REMAINING STRUCTURE AS REQUIRED DURING DEMOLITION AND CONSTRUCTION.
- COORDINATION**  
C. COORDINATE SELECTIVE DEMOLITION WITH CONSTRUCTION SCOPE. REMOVE EXISTING CONSTRUCTION, BUILDING SYSTEMS, AND FINISHES AS REQUIRED TO FULLY IMPLEMENT THE DEFINED CONSTRUCTION SCOPE. VERIFY REMOVAL OF ANY HISTORIC/ ORIGINAL ELEMENTS WITH ARCHITECT PRIOR TO SELECTIVE DEMOLITION.
- D. VERIFY EXISTING CONDITIONS WITH EXPLORATORY DEMOLITION PRIOR TO UNDERTAKING SELECTIVE DEMOLITION SCOPE.
- HAZARDOUS MATERIALS**  
E. IT IS NOT THE PURPOSE OR INTENT OF THESE DRAWINGS OR SPECIFICATIONS TO IDENTIFY OR LOCATE ENVIRONMENTAL HAZARDS. POTENTIAL HAZARDS INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: LEAD PAINT, ASBESTOS, MOLD, AND MACHINE OIL. FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING IDENTIFICATION, ASSESSMENT, AND REMEDIATION OF SUSPECTED HAZARDOUS MATERIALS.
- DEBRIS**  
F. REMOVE ALL DEBRIS AND STORED EQUIPMENT FROM WORK AREA PRIOR TO STARTING. DISPOSE OF DEMOLITION DEBRIS IN APPROPRIATE FACILITY AND OBSERVE ALL APPLICABLE DISPOSAL REGULATIONS.
- REPAIR (UNFORSEEN CONDITIONS)**  
REPLACE DAMAGED/DETERIORATED SIDING, SHEATHING, AND TRIM WITH COMPATIBLE ELEMENTS. PREPARE ALL SUBSTRATES AS REQUIRED FOR INSTALLATION OF NEW FINISH MATERIAL (TYPICAL).

HISTORIC BUILDING NOTE

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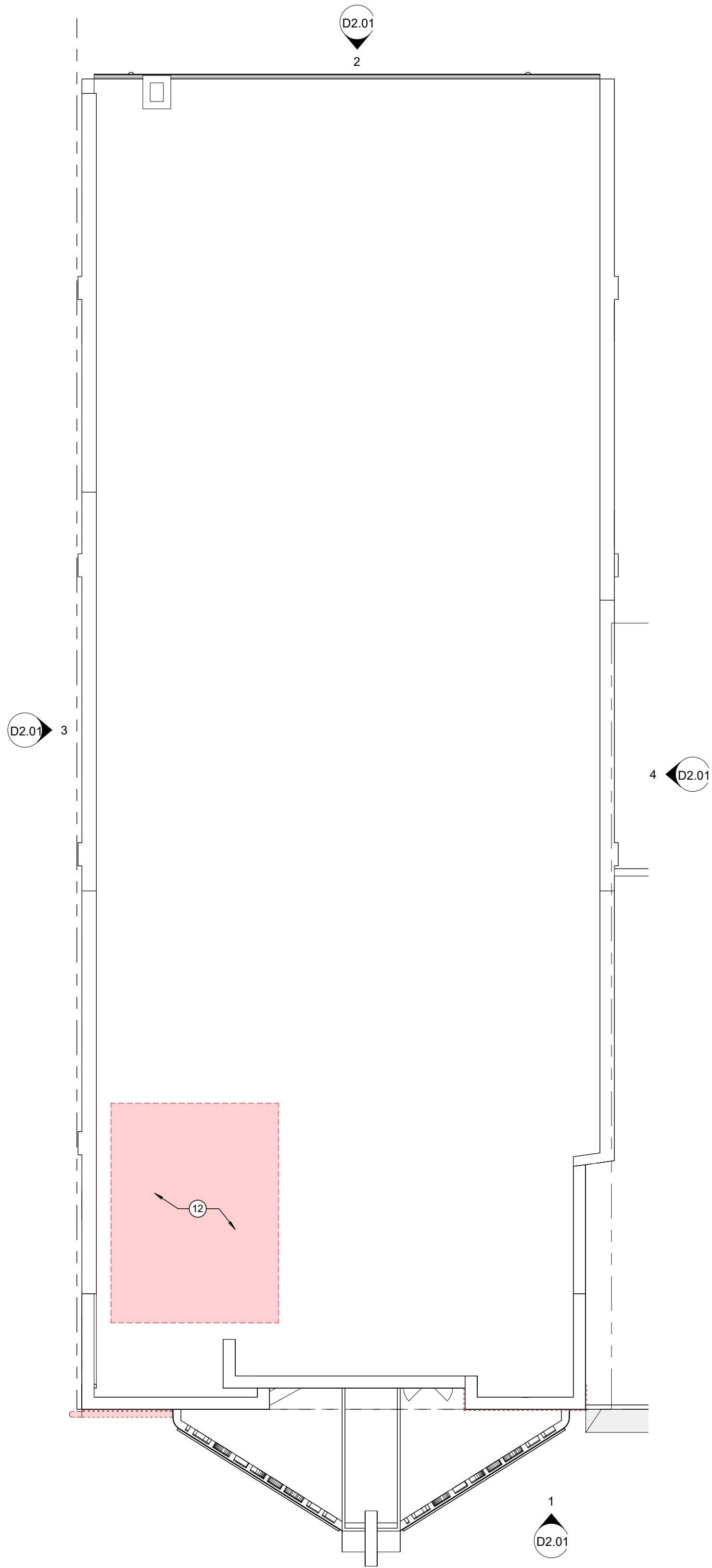


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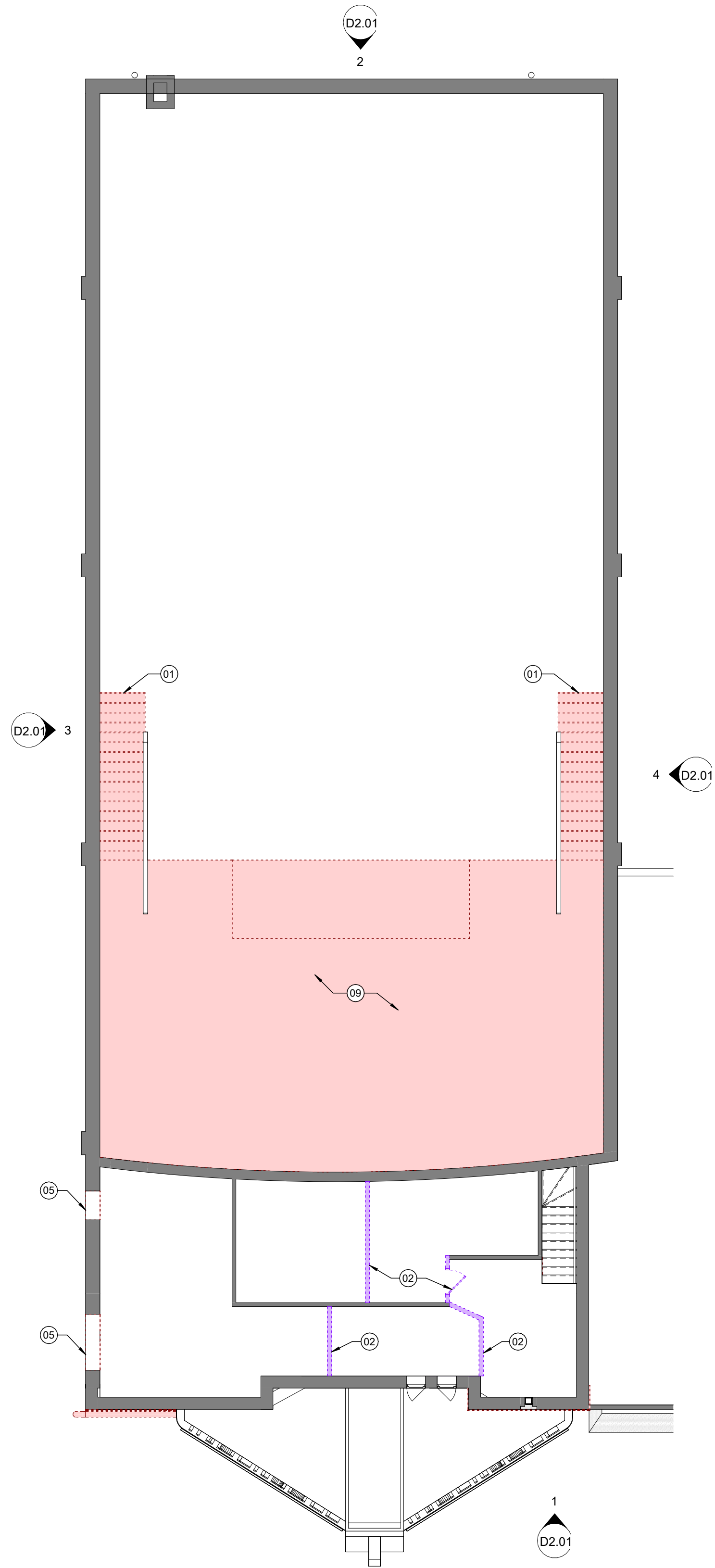
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2 | SELECTIVE DEMO - ROOF  
1/8" = 1'-0"



1 | SELECTIVE DEMO - 2ND FLOOR  
1/8" = 1'-0"



KEYNOTE - SELECTIVE DEMO PLAN

- 01 REMOVE EXISTING STAIR  
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11 REMOVE NON-ORIGINAL ADDITION  
12 REMOVE EXISTING MECHANICAL EQUIPMENT

ARCHITECTURAL PHASING LEGEND

- DEMOLISHED ELEMENT OR FEATURE  
DEMOLISHED WALL OR COLUMN  
EXISTING TO REMAIN  
IMPORTANT HISTORIC FABRIC OR ELEMENT  
NEW FEATURE

GENERAL NOTES - SELECTIVE DEMO

- GENERAL**  
A. SEE HISTORIC REHABILITATION NOTE IN TITLE BLOCK AND REFER TO THE SHEET SPECIFICATION FOR ADDITIONAL SELECTIVE DEMOLITION REQUIREMENTS.
- TEMPORARY SUPPORT**  
B. PROVIDE SHORING AND/OR TEMPORARY SUPPORT TO REMAINING STRUCTURE AS REQUIRED DURING DEMOLITION AND CONSTRUCTION.
- COORDINATION**  
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- DEBRIS**  
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- REPAIR (UNFORSEEN CONDITIONS)**  
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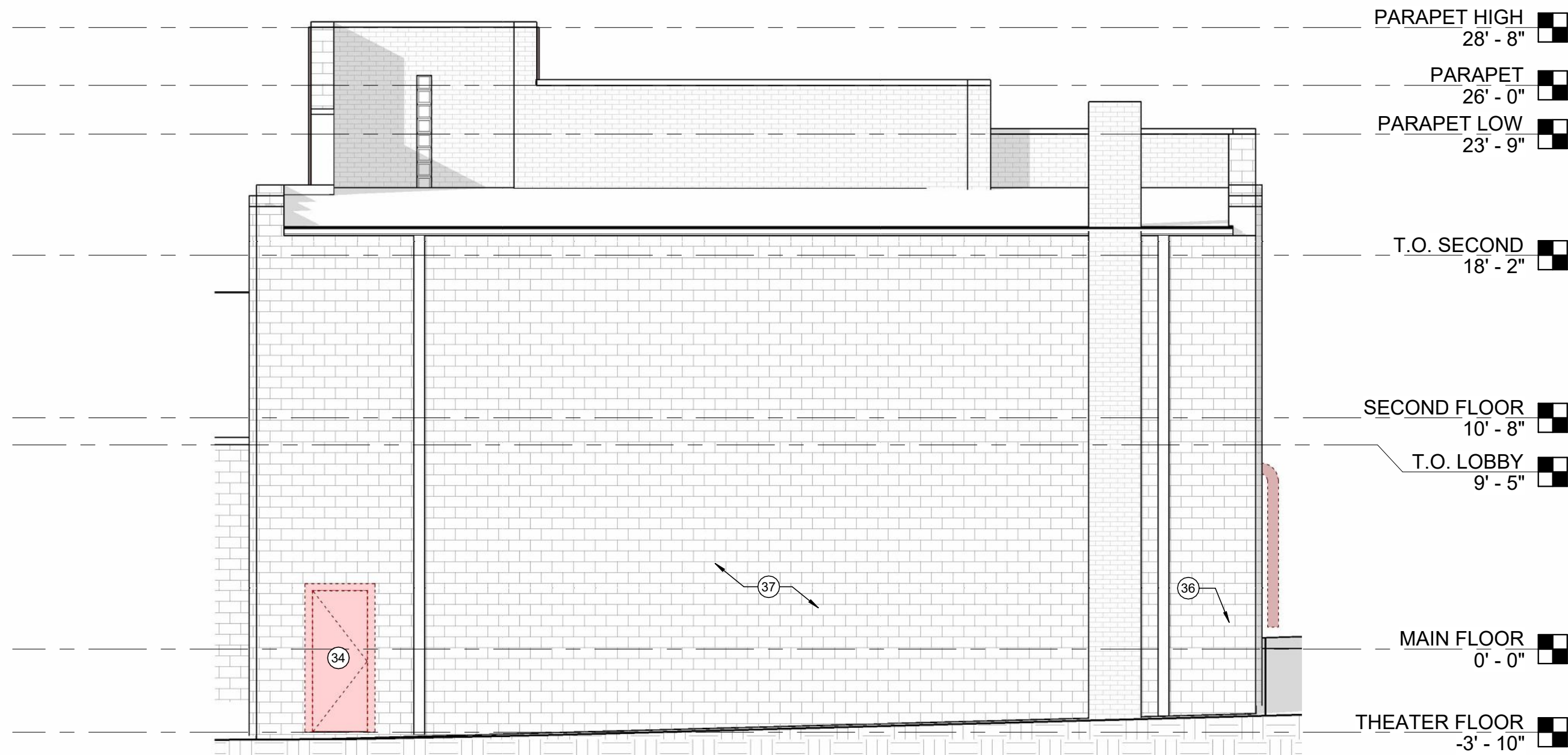
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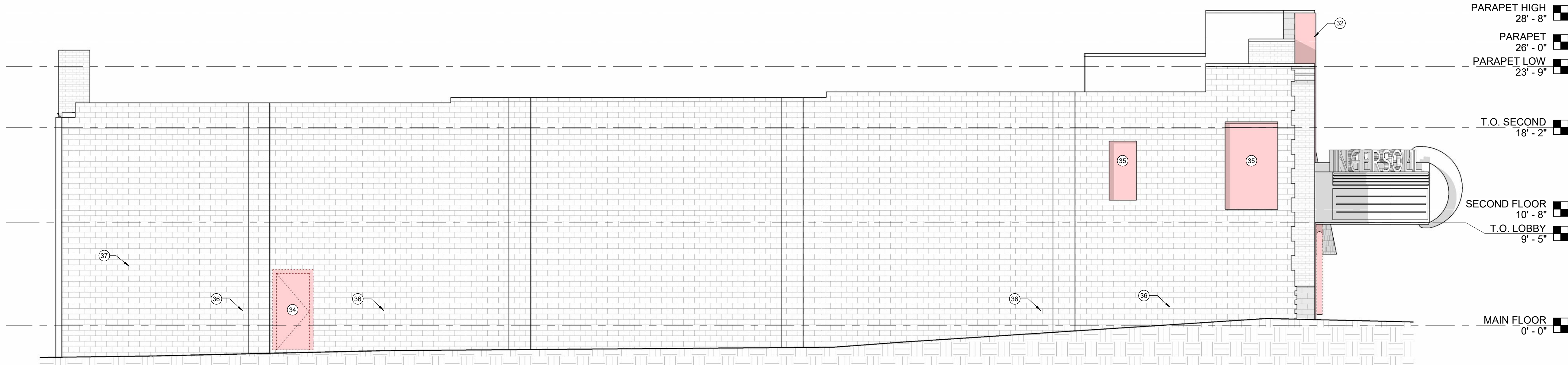




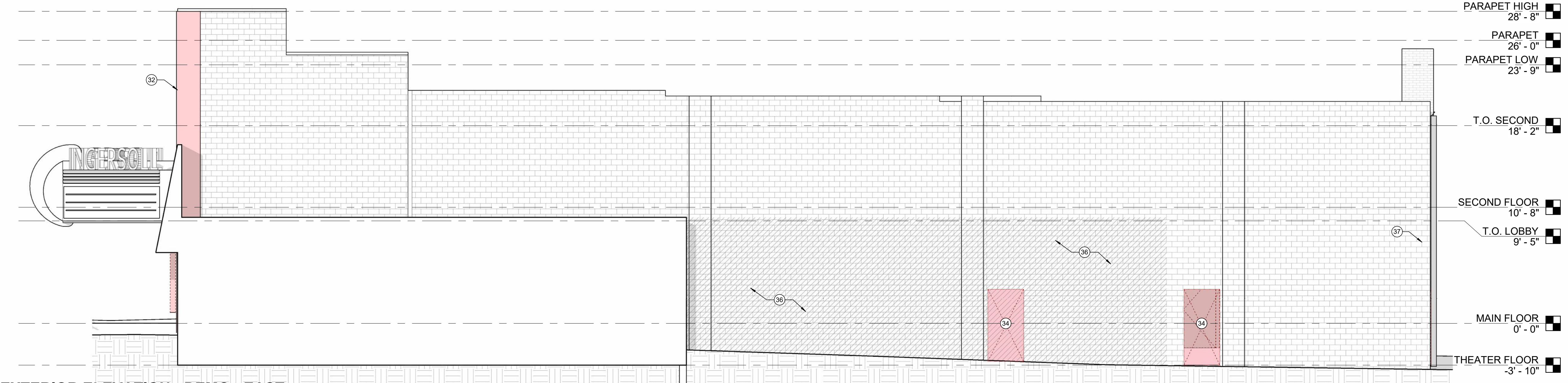
2 | EXTERIOR ELEVATION - DEMO - NORTH  
3/16" = 1'-0"



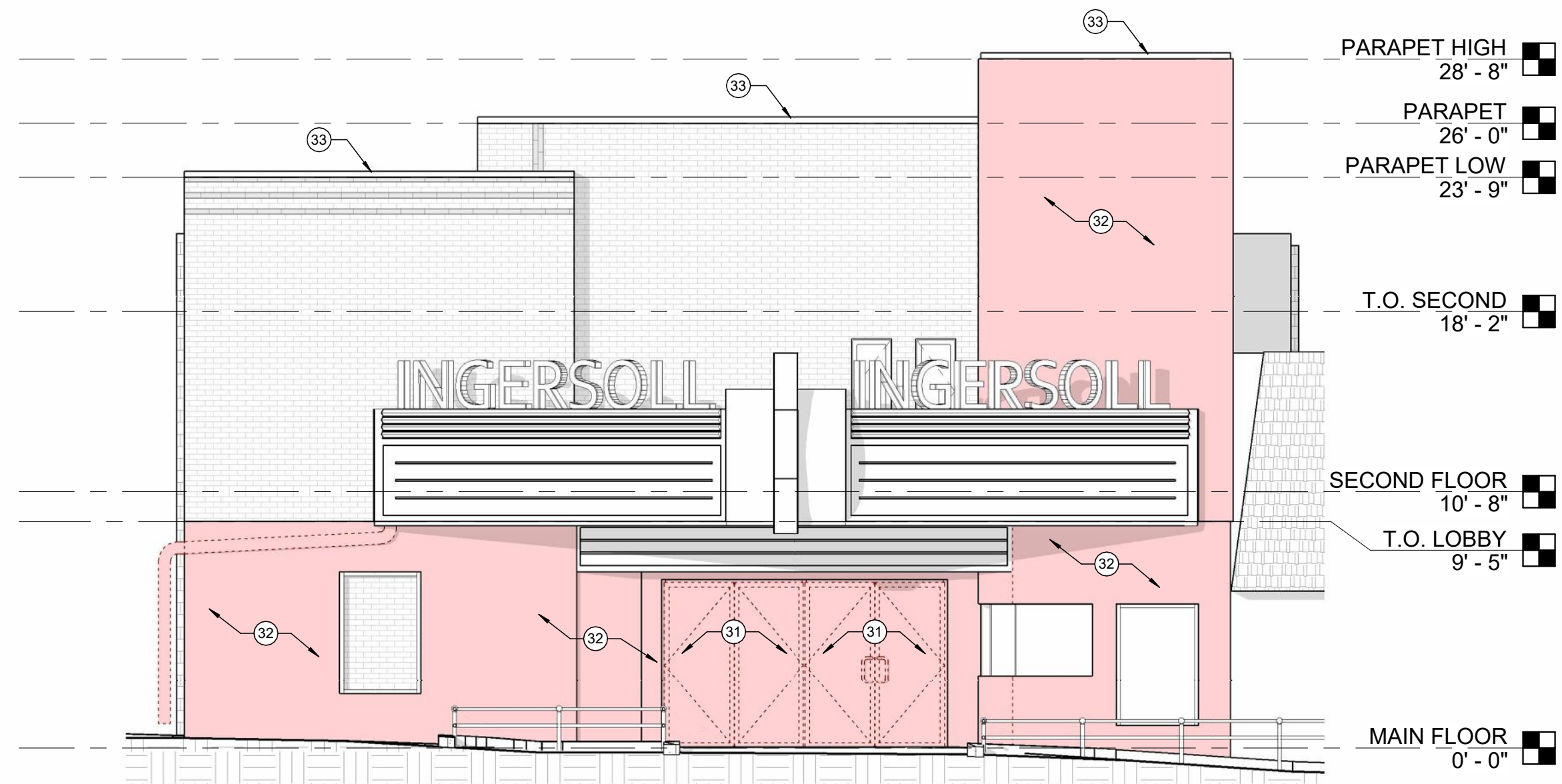
3 | EXTERIOR ELEVATION - DEMO - WEST  
3/16" = 1'-0"



4 | EXTERIOR ELEVATION - DEMO - EAST  
3/16" = 1'-0"



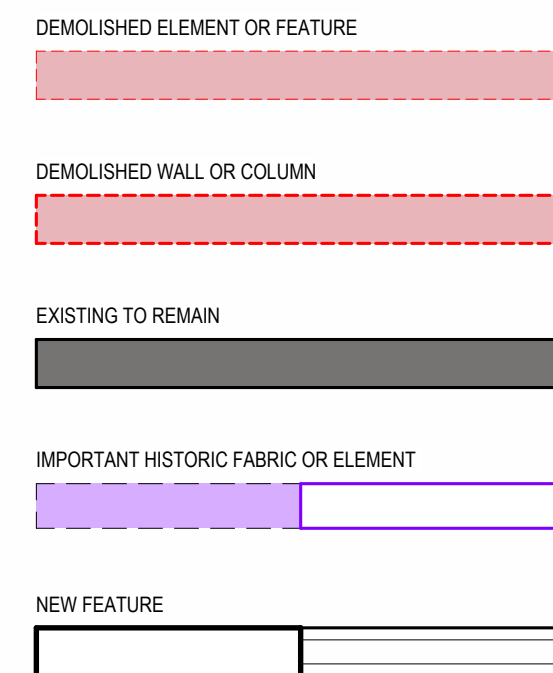
1 | EXTERIOR ELEVATION - DEMO - SOUTH  
3/16" = 1'-0"



KEYNOTE - SELECTIVE DEMO ELEVATION

- 31 REMOVE EXISTING ALUMINUM STOREFRONT SYSTEM BACK TO MASONRY OPENING. PREPARE OPENING FOR INSTALLATION OF NEW STOREFRONT/ENTRY SYSTEM (TYP)
- 32 REMOVE APPLIED STUCCO INFILL STOREFRONT BACK TO ORIGINAL MASONRY OPENINGS (TYPICAL) - PERFORM EXPLORATORY DEMOLITION TO REVEAL/EVALUATE HIDDEN CONDITIONS PRIOR TO FULL REMOVAL
- 33 COORDINATE PARAPET REPOINTING, COPING/FLASHING, AND ROOF REPLACEMENT AS REQUIRED
- 34 REMOVE EXISTING WALLS, WALL PORTIONS, AND DOORS INDICATED BY DASHED LINES. PROVIDE TEMPORARY SUPPORT AS REQUIRED DURING DEMOLITION AND CONSTRUCTION (TYP)
- 35 REMOVE EXISTING PLYWOOD INFILL
- 36 REMOVE GRAFFITI, PAINT COATINGS, MASTICS/THINSET, AND ADHESIVES FROM MASONRY WALL (TYPICAL) - PERFORM WORK IN ACCORDANCE WITH HISTORIC PRESERVATION BRIEF #1 USING GENTLEST MEANS POSSIBLE, BUT IN NO CASE SHALL ABRASIVE BLASTING OR HIGH-PRESSURE SPRAY BE USED (PREPARE A 3' X 3' MOCKUP FOR APPROVAL PRIOR TO FULL TREATMENT)
- 37 REMOVE REPOINTING GROUT/MORTAR FROM FACE OF MASONRY IN ACCORDANCE WITH HISTORIC PRESERVATION BRIEF #1 USING GENTLEST MEANS POSSIBLE, BUT IN NO CASE SHALL ABRASIVE BLASTING OR HIGH-PRESSURE SPRAY BE USED (PREPARE A 3' X 3' MOCKUP FOR APPROVAL PRIOR TO FULL TREATMENT)

ARCHITECTURAL PHASING LEGEND



GENERAL NOTES - SELECTIVE DEMO

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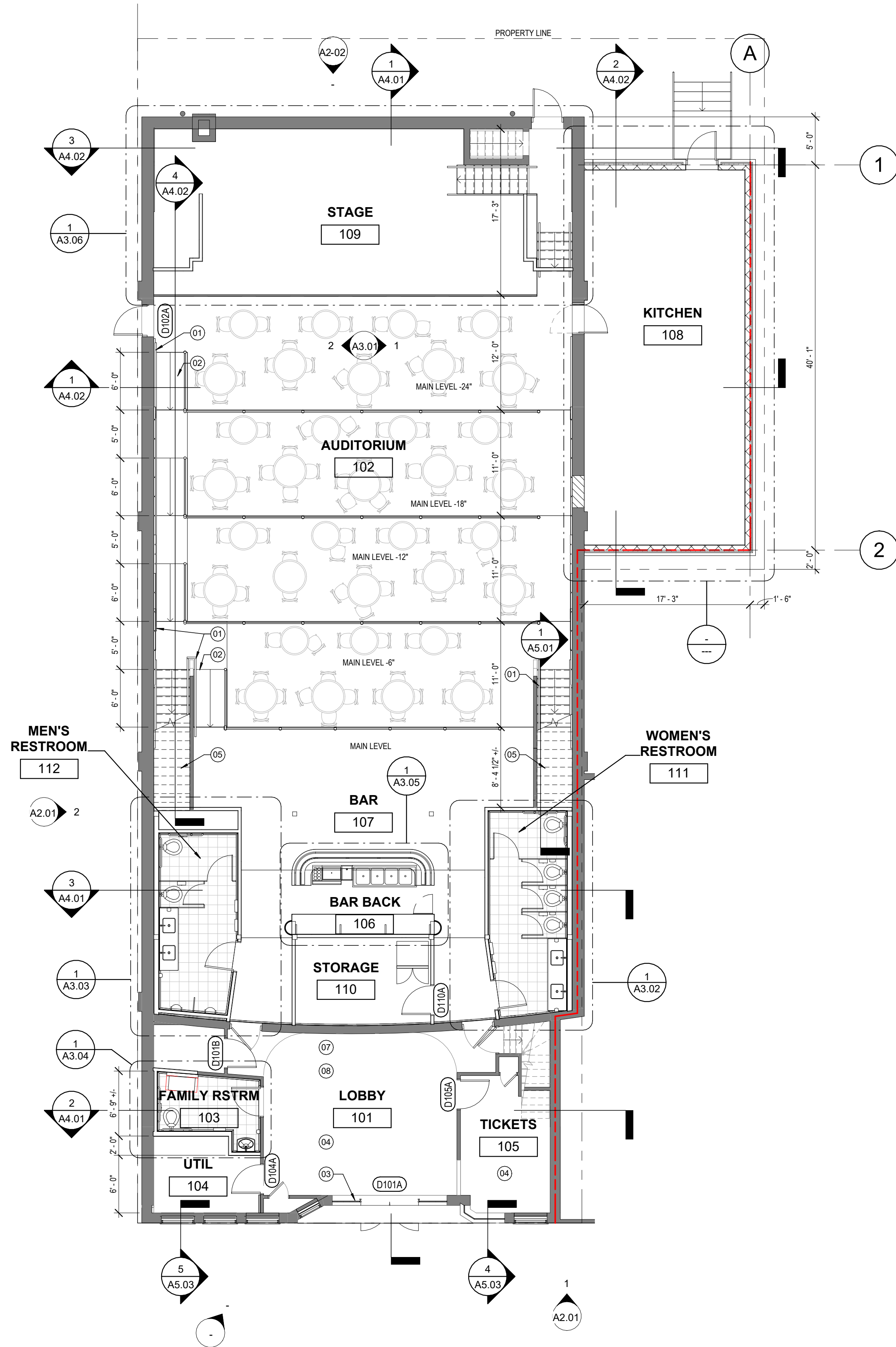


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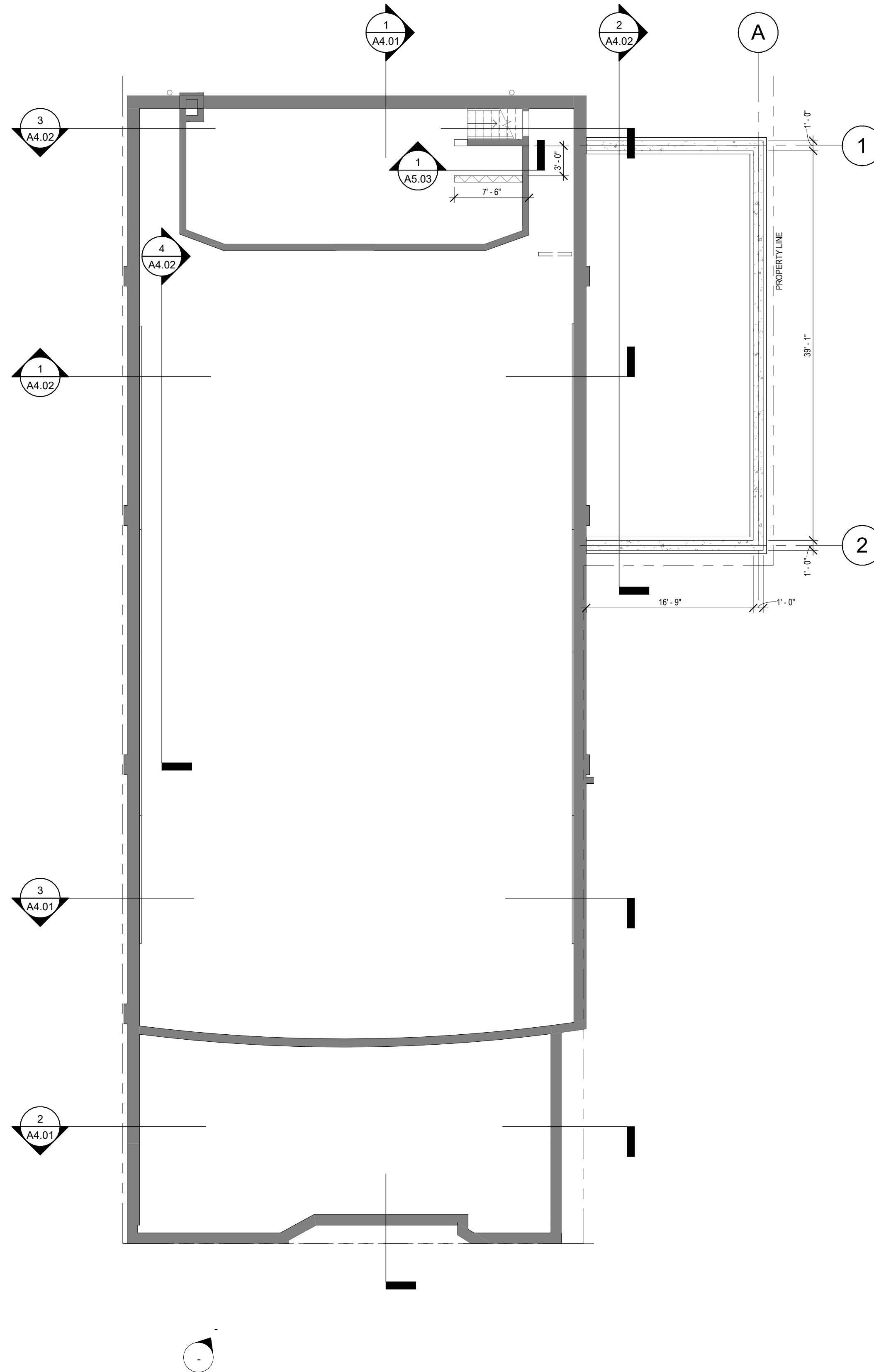
## 2 FLOOR PLAN - 1ST FLOOR

1/8" = 1'-0"



## 1 FLOOR PLAN - BASEMENT

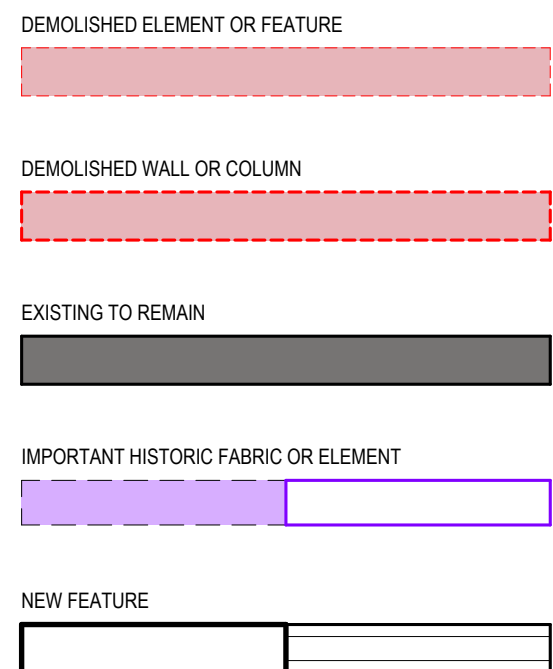
1/8" = 1'-0"



### KEYNOTE - FLOOR PLANS

- 01 HANDRAIL - 1-1/2" ROUND TUBE STEEL (PRIME/PAINT), MOUNT @ 2'-10" ABOVE RAMPS/STAIR, 12" EXTENSION TOP AND BOTTOM. RETURN BACK TO WALL.
- 02 NEW FCC RAMP, MAX 1:12 SLOPE TO LANDING AT DOOR - COORDINATE WITH SANITARY LINE EXCAVATION AND FLOOR REPAIRS
- 03 NEW EXTRUDED ALUMINUM STOREFRONT SYSTEM
- 04 NEW FLOOR FINISH AT EXISTING FLOOR, PREPARE SURFACE AS REQUIRED FOR SPECIFIED MATERIAL
- 05 NEW STAIR, REFER TO DETAILS FOR ADDITIONAL INFORMATION
- 06 NEW CURVED WOOD STUD WALL
- 07 SKIM COAT WALLS SMOOTH THIS ROOM
- 08 REPLICATE TRIM (REINSTALL) THIS ROOM

### ARCHITECTURAL PHASING LEGEND



### GENERAL NOTES - PLAN

**GENERAL**  
A. PROVIDE TEMPORARY SUPPORT AND/OR SHORING AS REQUIRED AT ALL EXISTING WORK TO REMAIN DURING SELECTIVE DEMOLITION AND CONSTRUCTION. SEQUENCE WORK SO AS TO MAINTAIN ADEQUATE SUPPORT TO REMAINING STRUCTURE AT ALL TIMES.

**DRAWING CONVENTIONS**  
B. UNIQUE CONDITIONS/SPACES ARE DESCRIBED ON EXPANDED PLAN SHEETS, REFERENCED FROM THE OVERALL FLOOR PLAN.

C. **VERIFY DIMENSIONS** OF WORK IN PLACE AS NEW WORK IS LAID OUT. CORRECT WORK OUT OF COMPLIANCE WITH THE DESIGN DRAWINGS BEFORE SUBSEQUENT WORK IS INSTALLED. CONFIRM DISCREPANCIES WITH ARCHITECT.

D. **DIMENSIONS AT PARTITION WALLS:** NEW INTERIOR BEARING AND NON-BEARING PARTITION WALL DIMENSIONS ARE GIVEN TO **FACE OF FRAMING** UNLESS NOTED OTHERWISE.

E. **DIMENSIONS AT CRITICAL LOCATIONS:** DIMENSIONS AT CRITICAL LOCATIONS MAY BE GIVEN TO FINISHED FACE OF WALL OR ELEMENT AND NOTED AS "FINISHED" OR "HOLD". CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING CRITICAL DIMENSIONS ARE MET. ADJUST/INSTALL FRAMING AS REQUIRED BASED ON FIELD CONDITIONS.

**GENERAL SCOPE**  
F. ANY SITE WORK, LANDSCAPING, RETAINING, AND PAVING SCOPE IS INDICATED ON THE ARCHITECTURAL DRAWINGS FOR GENERAL REFERENCE PURPOSES ONLY. DETAILS ARE TO BE DEFINED AS "DESIGN-BUILD" BY THE APPROPRIATE CONTRACTOR.

**ASSEMBLIES**  
G. ALL NEW INTERIOR NON-RATED WALLS SHALL BE 2x4 WOOD STUD @ 16" O.C. MAX (DOUBLE TOP PLATE) WITH 1/2" GYP ON EXPOSED FACES UNLESS NOTED OTHERWISE. PROVIDE 2x6 FRAMING AT PLUMBING STACK WALLS AS REQUIRED.

H. PROVIDE FIBERGLASS SOUND BATT INSULATION AT ALL BATHROOM AND BEDROOM WALLS.

**FRAMING**  
I. ALL FRAMING SHALL BE **WOOD STUD/JOIST** UNLESS NOTED OTHERWISE.

J. PROVIDE BLOCKING AT CABINETRY, EQUIPMENT, AND ANY OTHER WALL OR CEILING-MOUNTED FIXTURES AS REQUIRED BY MANUFACTURER INSTALLATION INSTRUCTIONS.

K. PROVIDE BLOCKING AS REQUIRED FOR DRYWALL FINISH INSTALLATION.

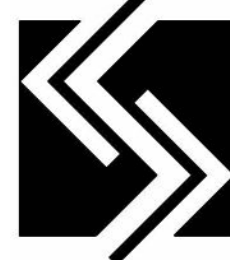
**FINISHES**  
L. REPAIR WALL, CEILING, AND FLOOR SUBSTRATES AFTER DEMOLITION OF EXISTING ATTACHED WORK AND FINISHES. PREPARE AS REQUIRED FOR NEW FINISHES. NEW FINISHES ADJACENT TO EXISTING SHALL BE FLUSH/FEATHERED OUT TO ALIGN.

M. FINAL HARDWARE, EQUIPMENT, FIXTURE, AND FINISH SELECTIONS TO BE PROVIDED BY OWNER. COORDINATE FRAMING, BLOCKING, AND FASTENING REQUIREMENTS WITH MANUFACTURER INSTALLATION INSTRUCTIONS.

### HISTORIC BUILDING NOTE

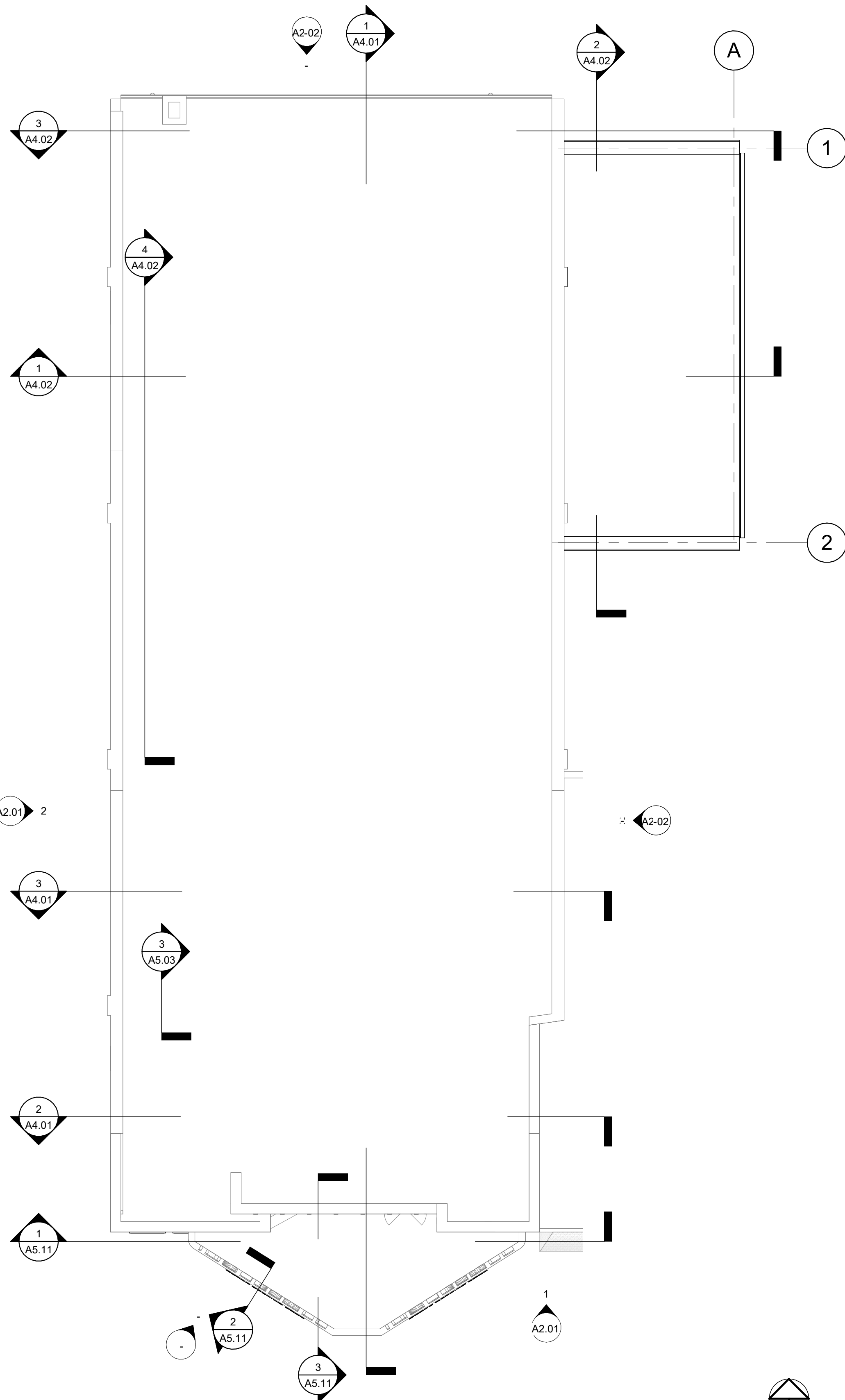
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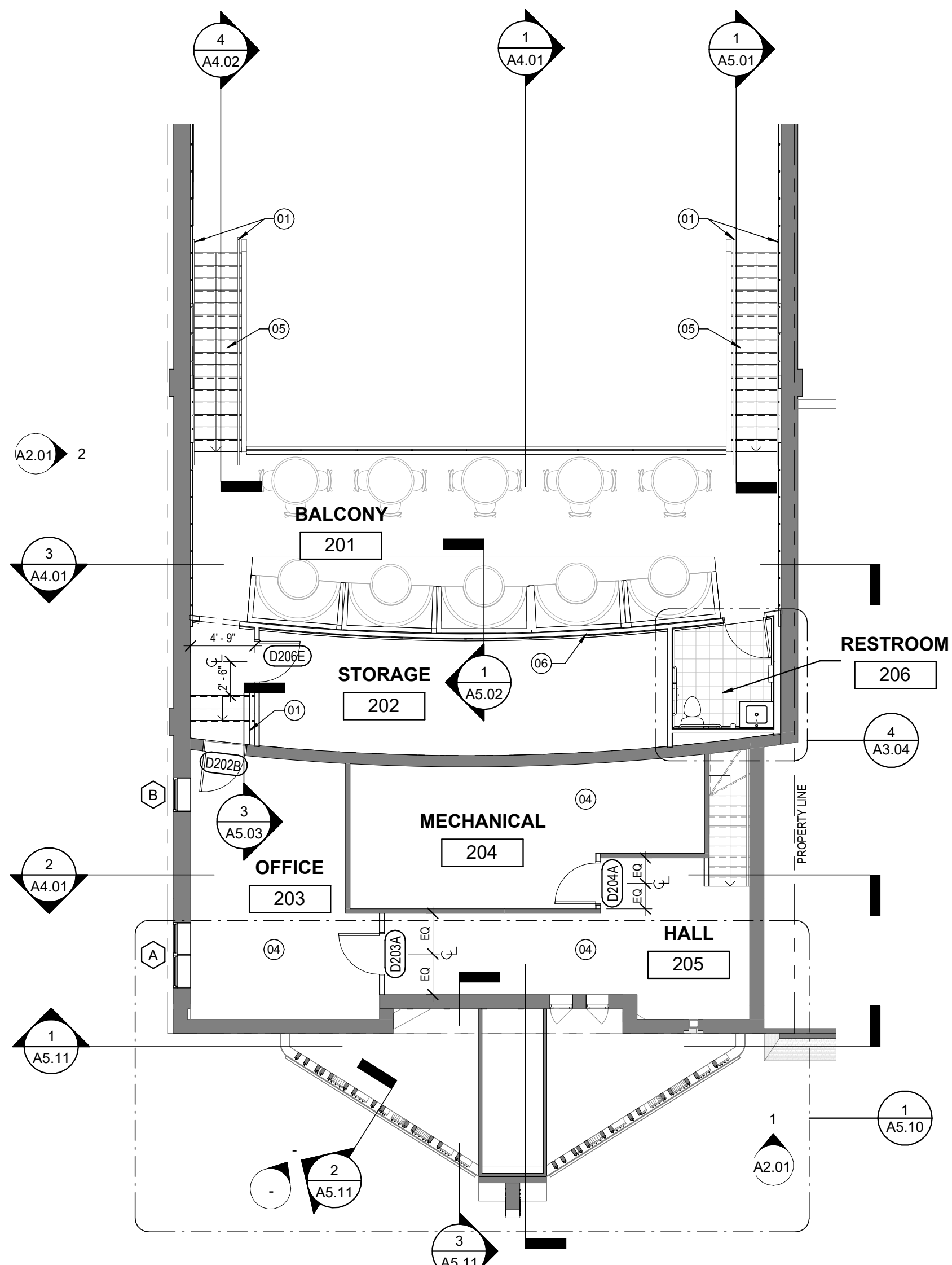




2 | ROOF PLAN  
1/8" = 1'-0"



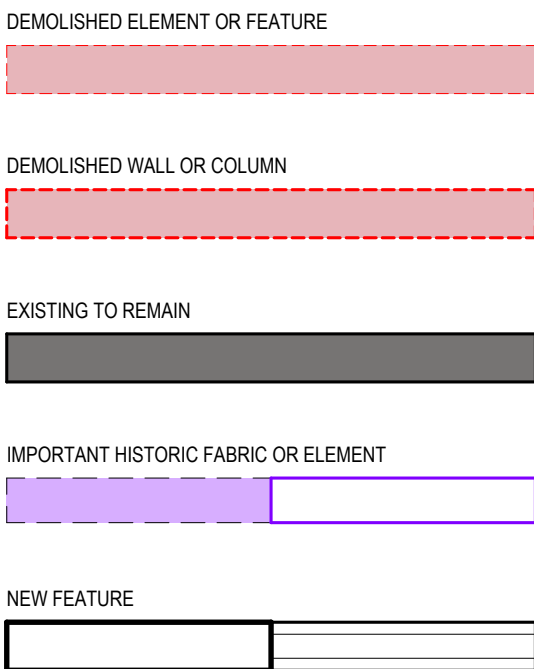
1 | FLOOR PLAN - 2ND FLOOR  
1/8" = 1'-0"



KEYNOTE - FLOOR PLANS

- 01 HANDRAIL - 1-1/2" ROUND TUBE STEEL (PRIME/PAIN'T), MOUNT @ 2'-10" ABOVE RAMP/STAIR, 12" EXTENSION TOP AND BOTTOM, RETURN BACK TO WALL.  
02 NEW PCC RAMP, MAX 1:12 SLOPE TO LANDING AT DOOR - COORDINATE WITH SANITARY LINE EXCAVATION AND FLOOR REPAIRS  
03 NEW EXTRUDED ALUMINUM STOREFRONT SYSTEM  
04 NEW FLOOR FINISH AT EXISTING FLOOR, PREPARE SURFACE AS REQUIRED FOR SPECIFIED MATERIAL  
05 NEW STAIR, REFER TO DETAILS FOR ADDITIONAL INFORMATION  
06 NEW CURVED WOOD STUD WALL  
07 SKIM COAT WALLS SMOOTH THIS ROOM  
08 REPLICATE TRIM (REINSTALL) THIS ROOM

ARCHITECTURAL PHASING LEGEND



GENERAL NOTES - PLAN

- GENERAL**  
A. PROVIDE TEMPORARY SUPPORT AND/OR SHORING AS REQUIRED AT ALL EXISTING WORK TO REMAIN DURING SELECTIVE DEMOLITION AND CONSTRUCTION. SEQUENCE WORK SO AS TO MAINTAIN ADEQUATE SUPPORT TO REMAINING STRUCTURE AT ALL TIMES.
- DRAWING CONVENTIONS**  
B. UNIQUE CONDITIONS/SPACES ARE DESCRIBED ON EXPANDED PLAN SHEETS, REFERENCED FROM THE OVERALL FLOOR PLAN.  
C. VERIFY DIMENSIONS OF WORK IN PLACE AS NEW WORK IS LAID OUT. CORRECT WORK OUT OF COMPLIANCE WITH THE DESIGN DRAWINGS BEFORE SUBSEQUENT WORK IS INSTALLED. CONFIRM DISCREPANCIES WITH ARCHITECT.  
D. DIMENSIONS AT PARTITION WALLS: NEW INTERIOR BEARING AND NON-BEARING PARTITION WALL DIMENSIONS ARE GIVEN TO FACE OF FRAMING UNLESS NOTED OTHERWISE.  
E. DIMENSIONS AT CRITICAL LOCATIONS: DIMENSIONS AT CRITICAL LOCATIONS MAY BE GIVEN TO FINISHED FACE OF WALL OR ELEMENT AND NOTED AS "FINISHED" OR "HOLD". CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING CRITICAL DIMENSIONS ARE MET. ADJUST/INSTALL FRAMING AS REQUIRED BASED ON FIELD CONDITIONS.
- GENERAL SCOPE**  
F. ANY SITE WORK, LANDSCAPING, RETAINING, AND PAVING SCOPE IS INDICATED ON THE ARCHITECTURAL DRAWINGS FOR GENERAL REFERENCE PURPOSES ONLY. DETAILS ARE TO BE DEFINED AS "DESIGN-BUILD" BY THE APPROPRIATE CONTRACTOR.
- ASSEMBLIES**  
G. ALL NEW INTERIOR NON-RATED WALLS SHALL BE 2x4 WOOD STUD @ 16" O.C. MAX (DOUBLE TOP PLATE) WITH 1/2" GYP ON EXPOSED FACES UNLESS NOTED OTHERWISE. PROVIDE 2x6 FRAMING AT PLUMBING STACK WALLS AS REQUIRED.  
H. PROVIDE FIBERGLASS SOUND BATT INSULATION AT ALL BATHROOM AND BEDROOM WALLS.
- FRAMING**  
I. ALL FRAMING SHALL BE WOOD STUD/JOIST UNLESS NOTED OTHERWISE.  
J. PROVIDE BLOCKING AT CABINETRY, EQUIPMENT, AND ANY OTHER WALL OR CEILING MOUNTED FIXTURES AS REQUIRED BY MANUFACTURER INSTALLATION INSTRUCTIONS.  
K. PROVIDE BLOCKING AS REQUIRED FOR DRYWALL FINISH INSTALLATION.
- FINISHES**  
L. REPAIR WALL, CEILING, AND FLOOR SUBSTRATES AFTER DEMOLITION OF EXISTING ATTACHED WORK AND FINISHES. PREPARE AS REQUIRED FOR NEW FINISHES. NEW FINISHES ADJACENT TO EXISTING SHALL BE FLUSH/FEATHERED OUT TO ALIGN.  
M. FINAL HARDWARE, EQUIPMENT, FIXTURE, AND FINISH SELECTIONS TO BE PROVIDED BY OWNER. COORDINATE FRAMING, BLOCKING, AND FASTENING REQUIREMENTS WITH MANUFACTURER INSTALLATION INSTRUCTIONS.

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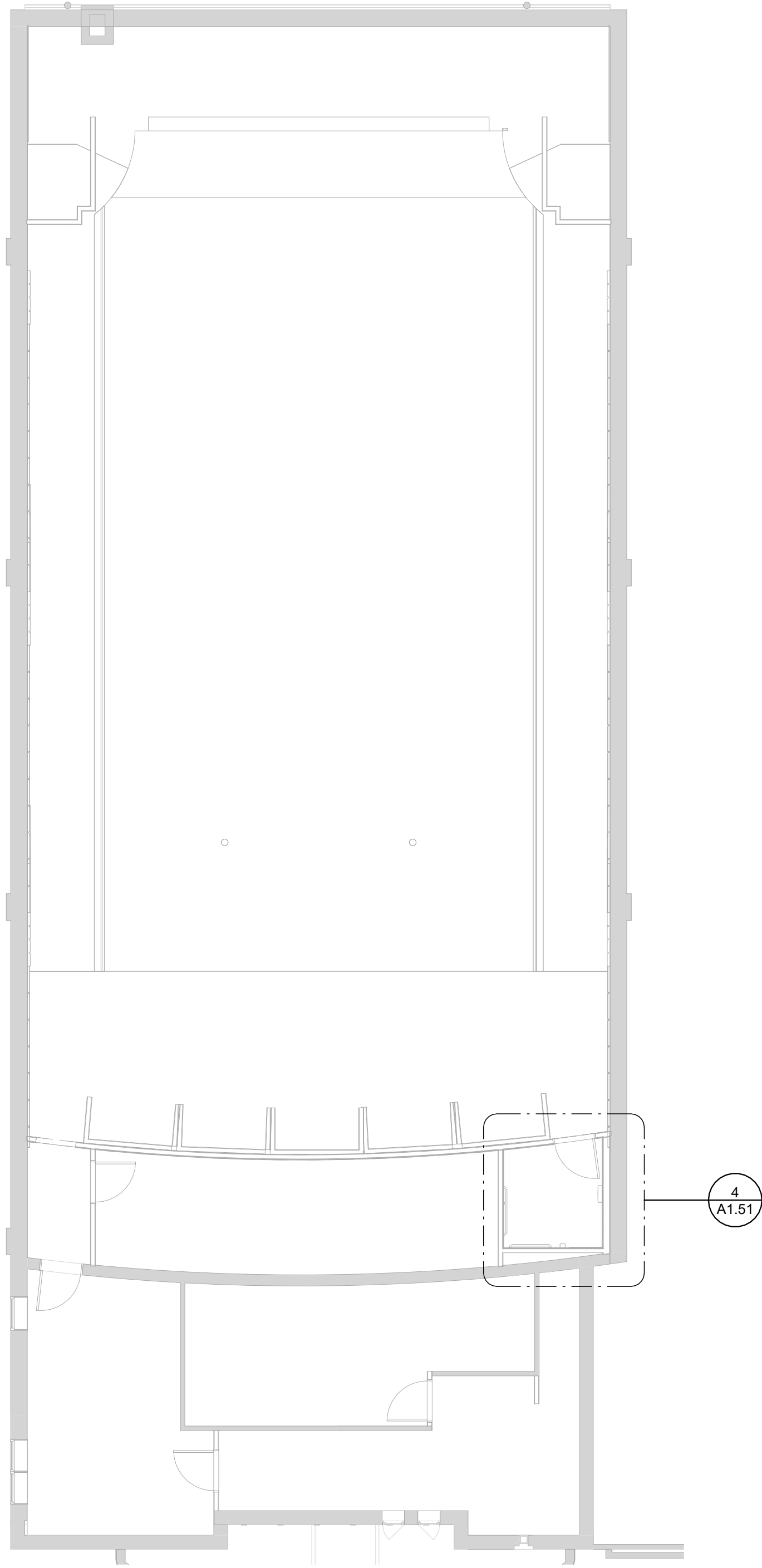


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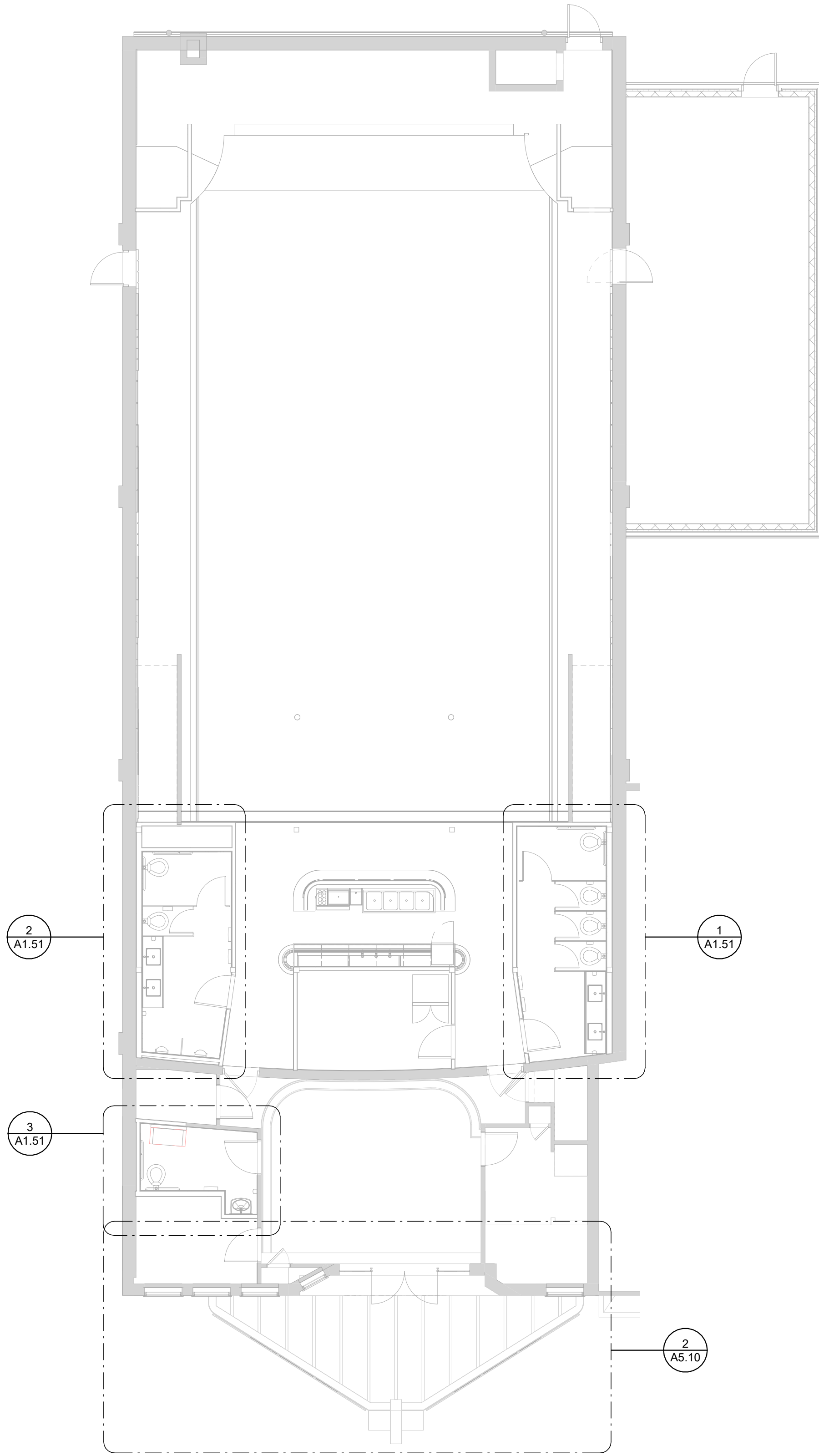


2 | ARCHITECTURAL RCP - 2ND FLOOR  
1/8" = 1'-0"



4  
A1.51

1 | ARCHITECTURAL RCP - 1ST FLOOR  
1/8" = 1'-0"



2  
A1.51

3  
A1.51

1  
A1.51

2  
A5.10

HISTORIC REHABILITATION  
3711 INGERSOLL AVENUE  
DES MOINES, IA 50312

SOA PROJECT# ITAR  
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REV DESCRIPTION DATE

ARCHITECTURAL -  
RCP

A1.50

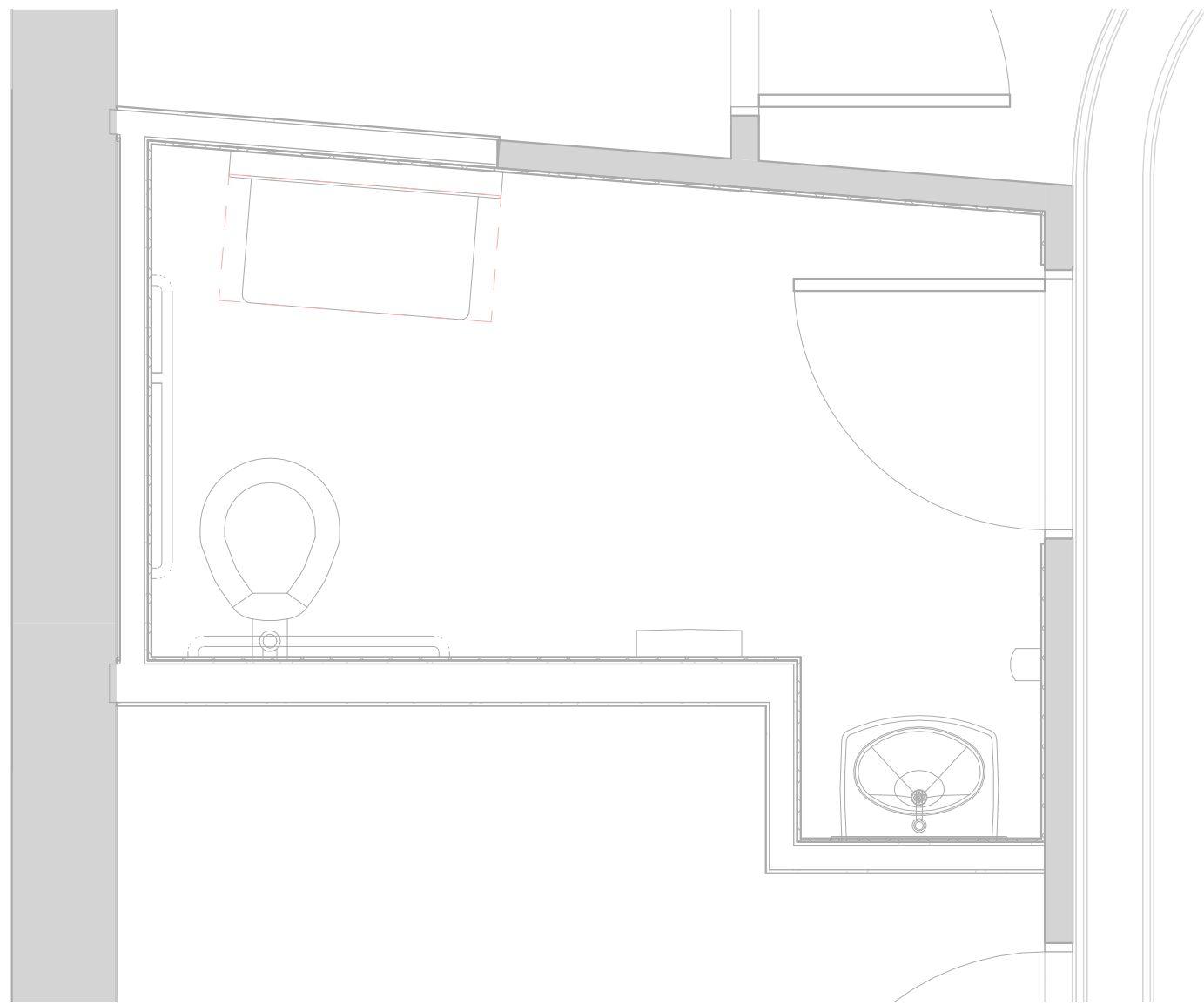
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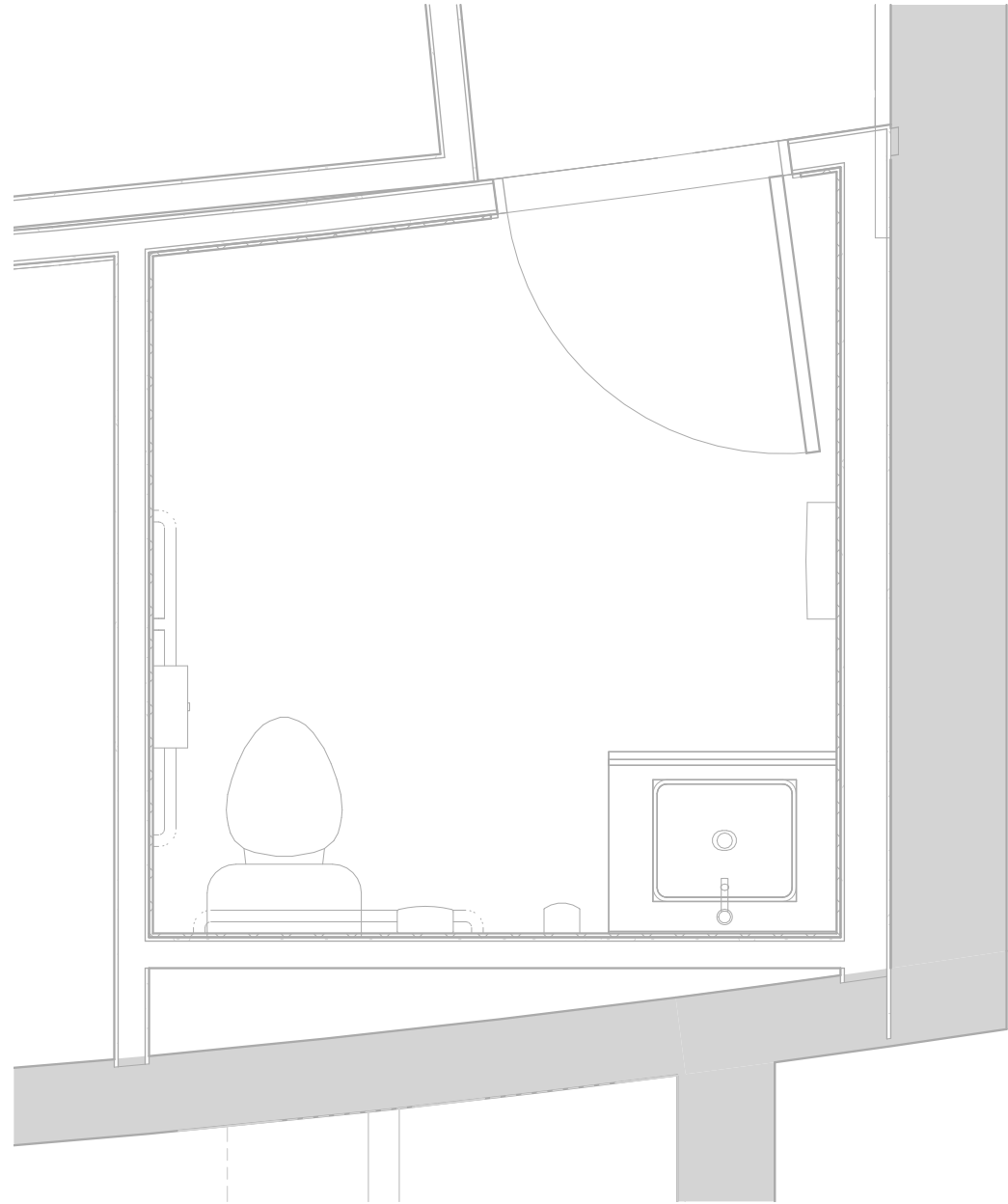
SEQUEL ARCHITECTURE  
3106 Ingersoll Ave, Des Moines, IA 50312  
info@sequelarchitecture.com  
515.710.3484



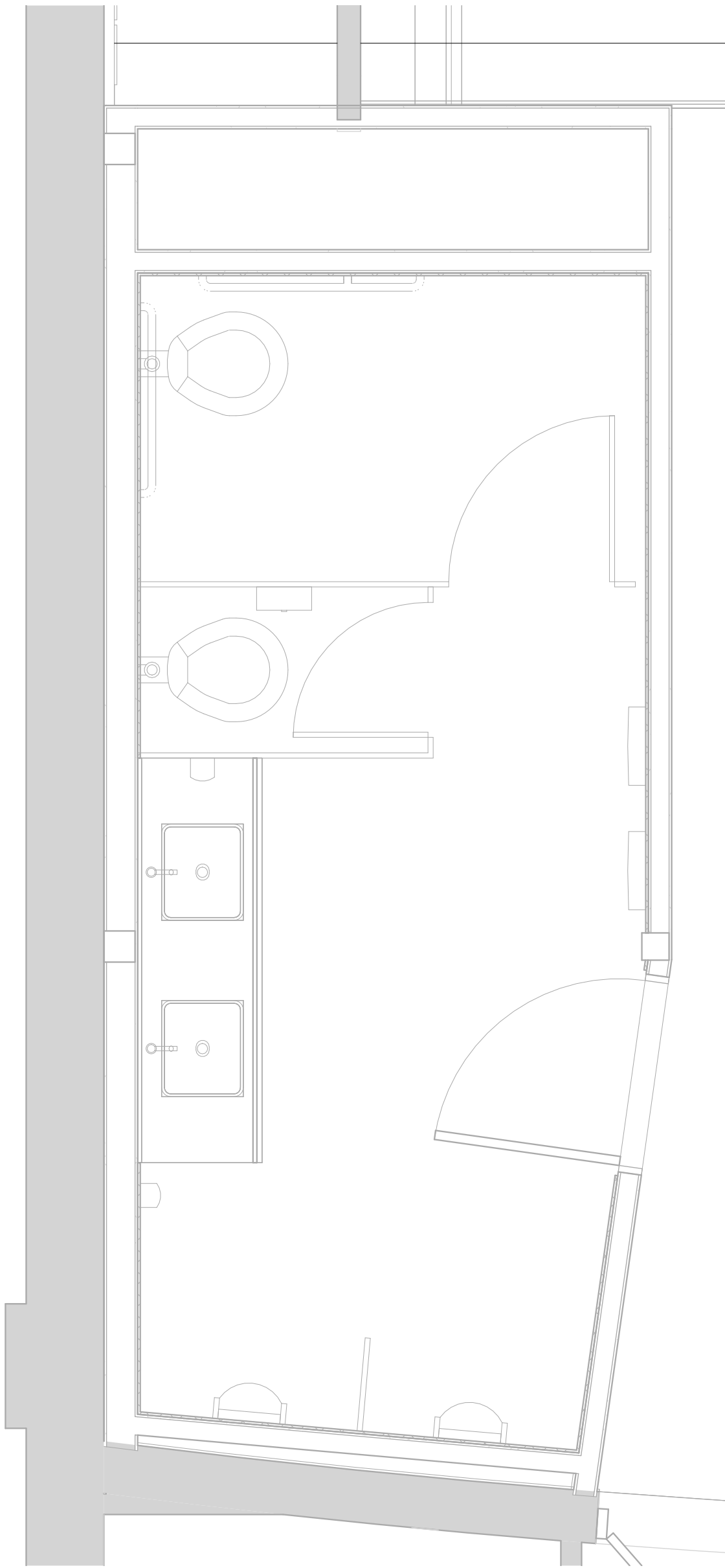
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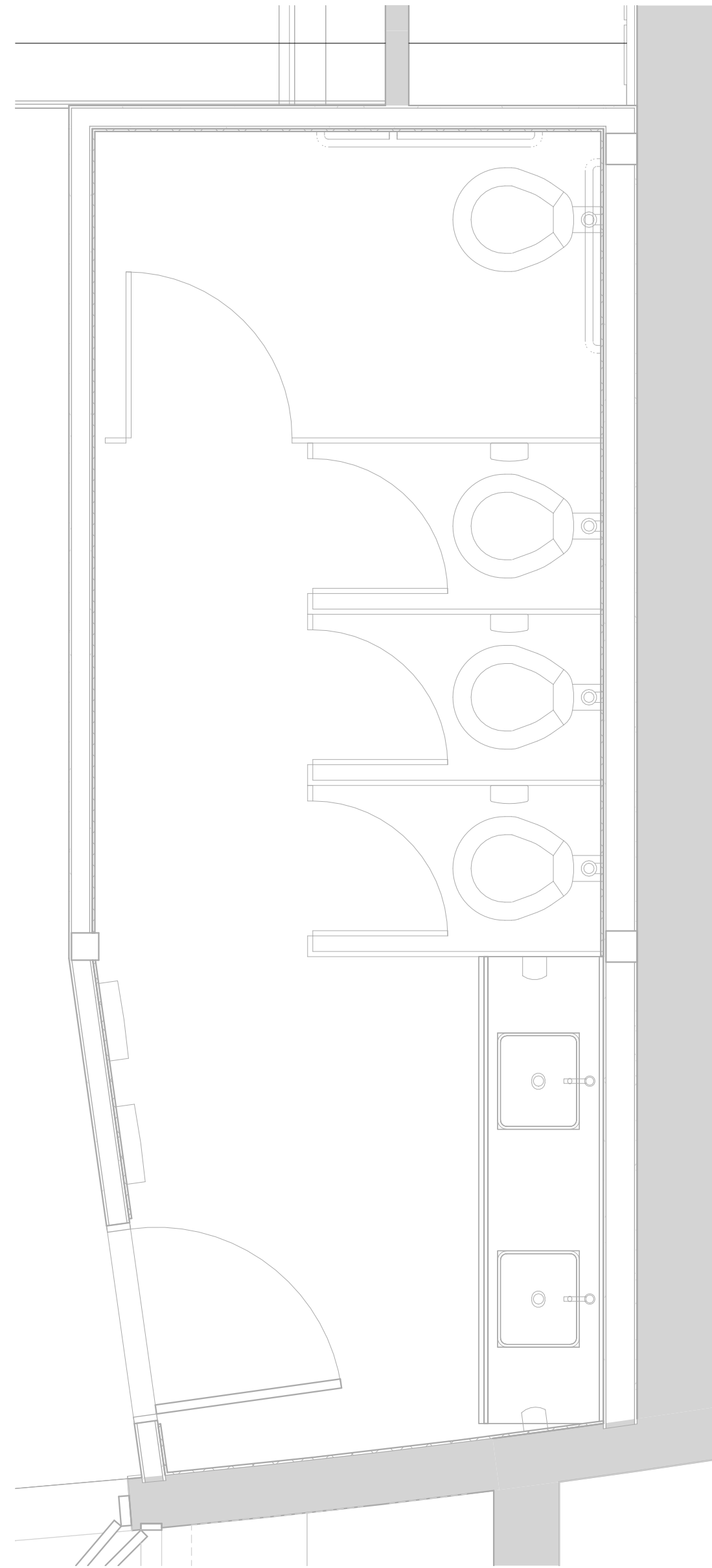
**3 | ENLARGED RCP - FAMILY RESTROOM**  
1/2" = 1'-0"



**4 | ENLARGED RCP - BALCONY RESTROOM**  
1/2" = 1'-0"



**2 | ENLARGED RCP - MEN'S RESTROOM**  
1/2" = 1'-0"



**1 | ENLARGED RCP - WOMEN'S RESTROOM**  
1/2" = 1'-0"



**HISTORIC REHABILITATION**  
3711 INGERSOLL AVENUE  
DES MOINES, IA 50312

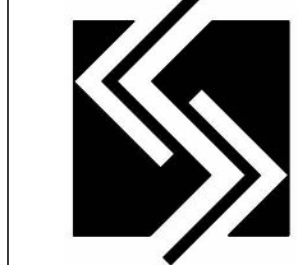
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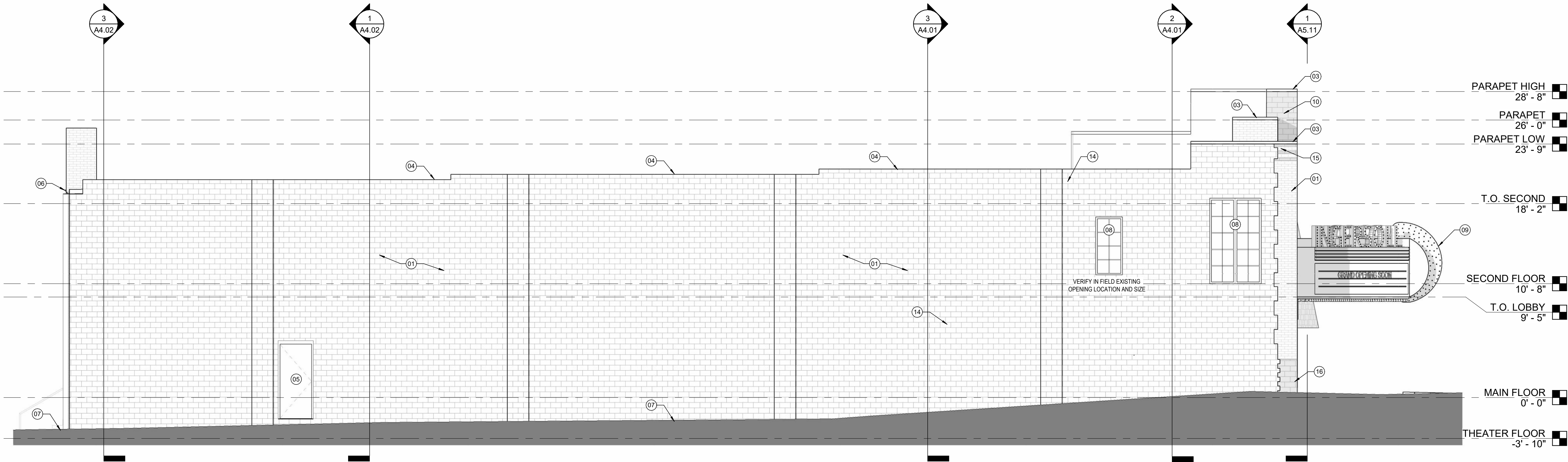
**ARCHITECTURAL - RCP**

**A1.51**

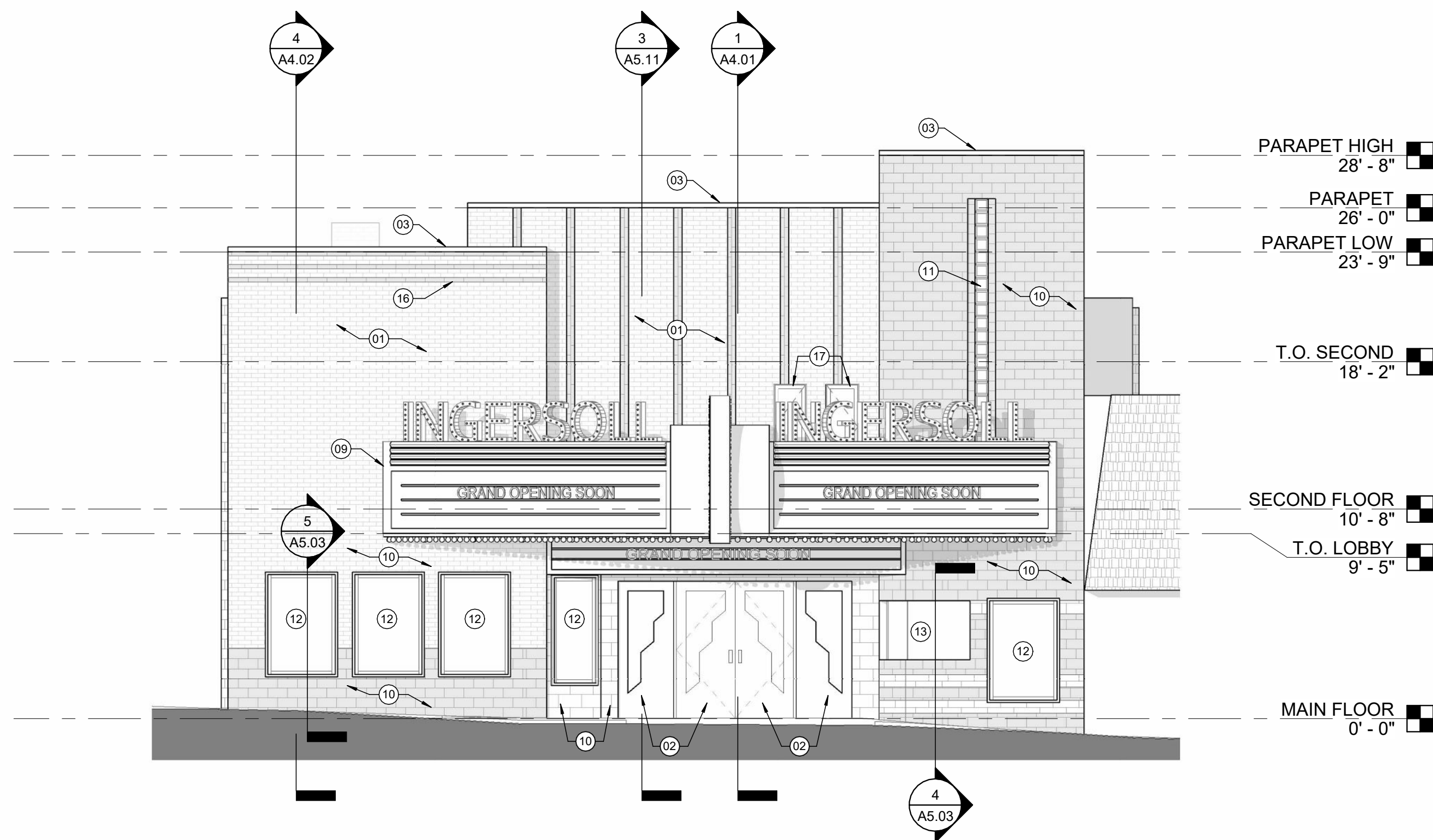


**SEQUEL ARCHITECTURE**  
3106 Ingersoll Ave, Des Moines, IA 50312  
info@sequelarchitecture.com  
515.710.3484





2 | EXTERIOR ELEVATION - WEST  
3/16" = 1'-0"



1 | EXTERIOR ELEVATION - SOUTH  
3/16" = 1'-0"

KEYNOTE - EXTERIOR ELEVATIONS

- 01 REPOINT DETERIORATED MORTAR JOINTS - MORTAR TO MATCH ORIGINAL IN COMPOSITION, COLOR AND JOINT PROFILE
- 02 NEW EXTRUDED ALUMINUM STOREFRONT AND ENTRY SYSTEM, INSULATED STOREFRONT GLAZING AND NEW ENTRY DOOR
- 03 NEW PRECAST COPING CAP AT RAISED PARAPET - REFER TO DETAILS/SECTIONS FOR ADDITIONAL INFORMATION
- 04 METAL COPING CAP, COORDINATE WITH ROOF MEMBRANE REPLACEMENT
- 05 NEW EGRESS DOOR IN NEW HOLLOW METAL FRAME - REFER TO DOOR SCHEDULE
- 06 NEW PREFINISHED ALUMINUM GUTTER AND DOWNSPOUT
- 07 EXISTING GRADE AT PARKING ALLEY - REFER TO CIVIL FOR SITE SCOPE
- 08 NEW STOREFRONT STYLE WINDOW IN EXISTING MASONRY OPENING
- 09 EXISTING MARQUEE - VERIFY STRUCTURE, RESTORE LIGHTING, REPAIR/REPLACE DAMAGED ELEMENTS WITH LIKE
- 10 EXISTING GLAZED TILE/BRICK BEHIND COVERUP CLADDING - REMOVE COVERUP, RESTORE MASONRY, REPOINT DETERIORATED MORTAR JOINTS (TYPICAL)
- 11 EXISTING GLASS BLOCK ACCENT - RE-EXPOSE AND INSTALL BACKLIGHT (REFER TO LIGHTING/ELECTRICAL AND DETAILS)
- 12 NEW ALUMINUM "ANNOUNCEMENT FRAME" IN EXISTING MASONRY OPENING
- 13 EXISTING GLASS SURROUND AT TICKET COUNTER TO REMAIN - PROTECT FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION
- 14 REPLACE DAMAGED CLAY TILE MASONRY UNIT - MATCH SIZE, COLOR, FINISH, AND TEXTURE
- 15 REPLACE DAMAGED BUFF BRICK - MATCH SIZE, COLOR, FINISH, AND TEXTURE
- 16 REPLACE DAMAGED GLAZED BRICK/BLOCK - MATCH SIZE, COLOR, FINISH, AND TEXTURE
- 17 RESTORE WINDOW

GENERAL NOTES - EXTERIOR ELEVATION

- GENERAL**  
A. EXTERIOR ELEVATION DRAWINGS ARE GRAPHIC REPRESENTATIONS INTENDED TO SHOW VERTICAL RELATIONSHIPS BETWEEN FINISHES AND EXTERIOR ELEMENTS/FEATURES. FIELD VERIFY EXISTING CONDITIONS.
- B. REFER TO BUILDING SECTIONS, WALL SECTIONS, DETAILS, AND WALL TYPES FOR ADDITIONAL INFORMATION.
- MATERIALS**  
C. REFER TO MATERIAL LEGEND FOR EXTERIOR FINISH TYPES.
- D. WHERE NEW EXTERIOR FINISHES ARE PIECES IN TO EXISTING MATERIAL, NEW WORK SHALL ALIGN AND COURSE OUT TO MATCH.
- FLASHINGS AND SEALANTS**  
E. PROVIDE FLASHINGS AT MATERIAL TRANSITIONS TO ENSURE POSITIVE DRAINAGE FOR WATER TO ESCAPE FROM BEHIND THE EXTERIOR FINISH.
- F. PROVIDE SEALANTS IN ACCORDANCE WITH MANUFACTURER INSTALLATION INSTRUCTIONS. SEALANTS SHALL BE COLOR MATCHED TO THE ADJACENT MATERIAL OR PAINTABLE (FOR PAINTED MATERIALS ONLY).

HISTORIC BUILDING NOTE

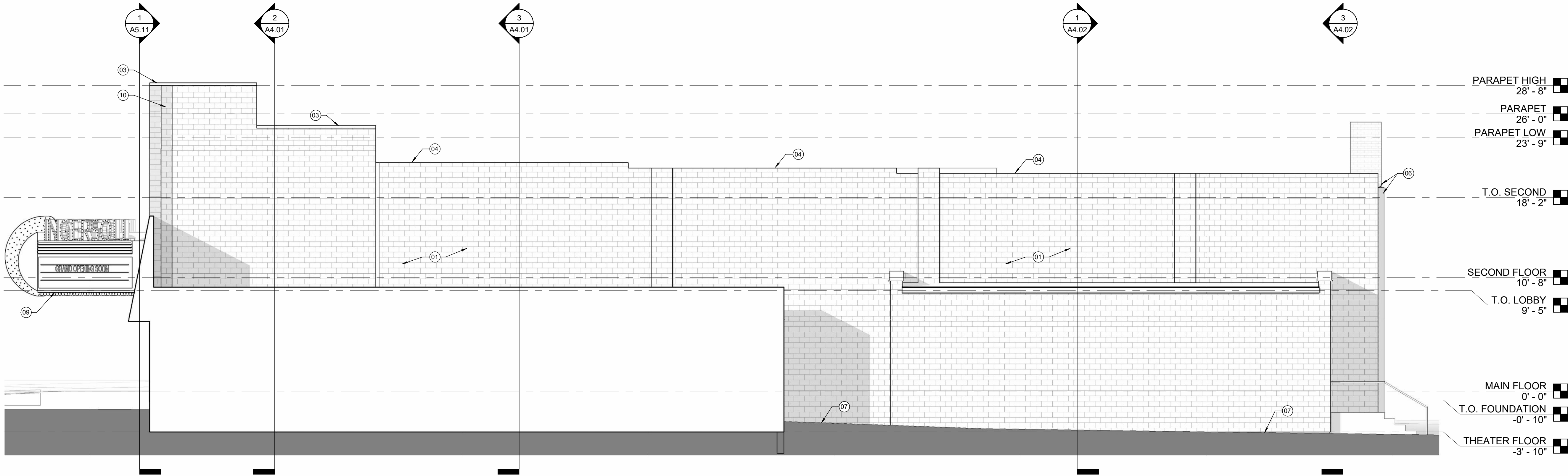
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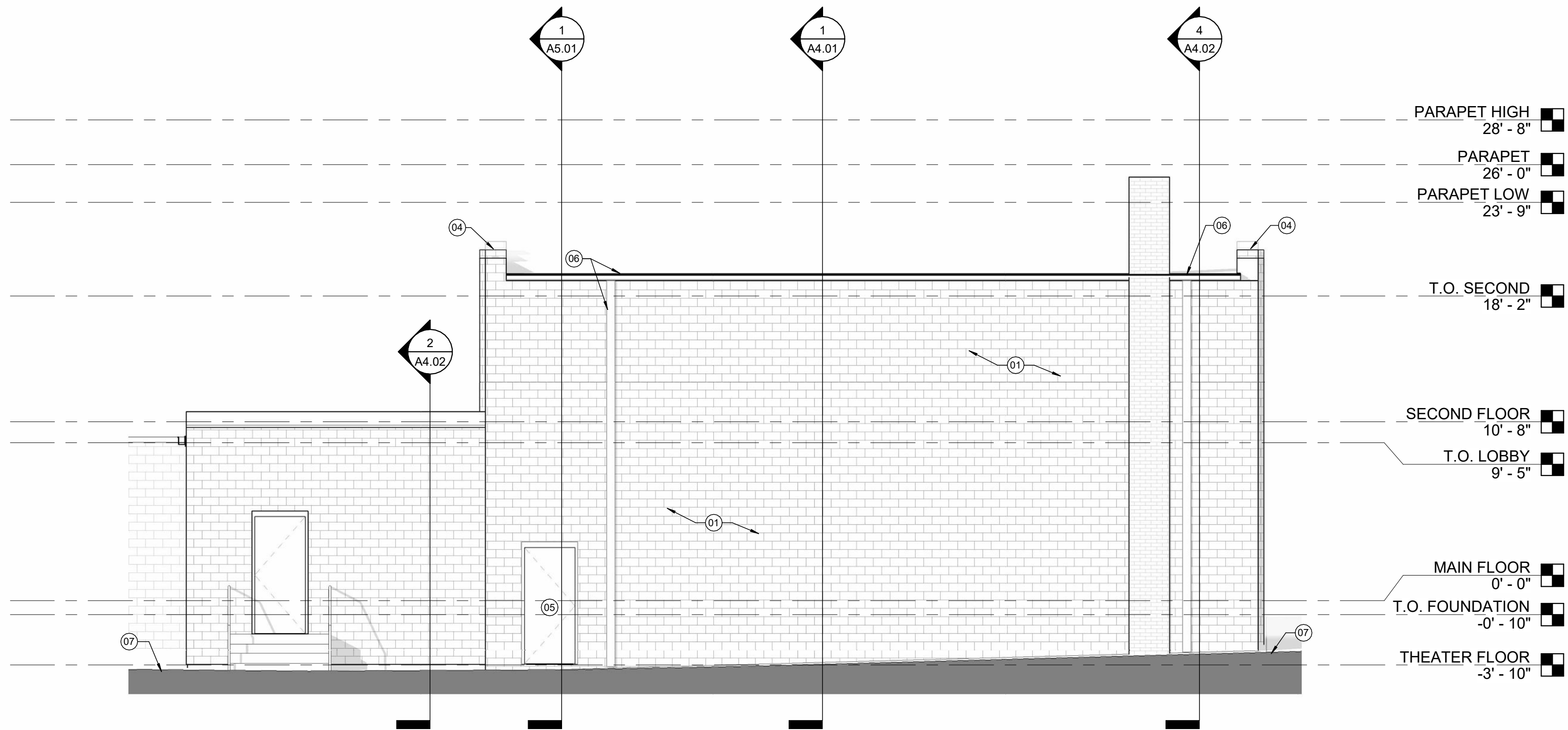


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REV DESCRIPTION	DATE





2 | EXTERIOR ELEVATION - EAST  
3/16" = 1'-0"



1 | EXTERIOR ELEVATION - NORTH  
3/16" = 1'-0"

KEYNOTE - EXTERIOR ELEVATIONS

- 01 REPOINT DETERIORATED MORTAR JOINTS - MORTAR TO MATCH ORIGINAL IN COMPOSITION, COLOR AND JOINT PROFILE
- 02 NEW EXTRUDED ALUMINUM STOREFRONT AND ENTRY SYSTEM, INSULATED STOREFRONT GLAZING AND NEW ENTRY DOOR
- 03 NEW PRECAST COPING CAP AT RAISED PARAPET - REFER TO DETAIL SECTIONS FOR ADDITIONAL INFORMATION
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- 17 RESTORE WINDOW

GENERAL NOTES - EXTERIOR ELEVATION

- GENERAL**
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- B. REFER TO BUILDING SECTIONS, WALL SECTIONS, DETAILS, AND WALL TYPES FOR ADDITIONAL INFORMATION.
- MATERIALS**
- C. REFER TO MATERIAL LEGEND FOR EXTERIOR FINISH TYPES.
- D. WHERE NEW EXTERIOR FINISHES ARE PIECES IN TO EXISTING MATERIAL, NEW WORK SHALL ALIGN AND COURSE OUT TO MATCH.
- FLASHINGS AND SEALANTS**
- E. PROVIDE FLASHINGS AT MATERIAL TRANSITIONS TO ENSURE POSITIVE DRAINAGE FOR WATER TO ESCAPE FROM BEHIND THE EXTERIOR FINISH.
- F. PROVIDE SEALANTS IN ACCORDANCE WITH MANUFACTURER INSTALLATION INSTRUCTIONS. SEALANTS SHALL BE COLOR MATCHED TO THE ADJACENT MATERIAL OR PAINTABLE (FOR PAINTED MATERIALS ONLY).

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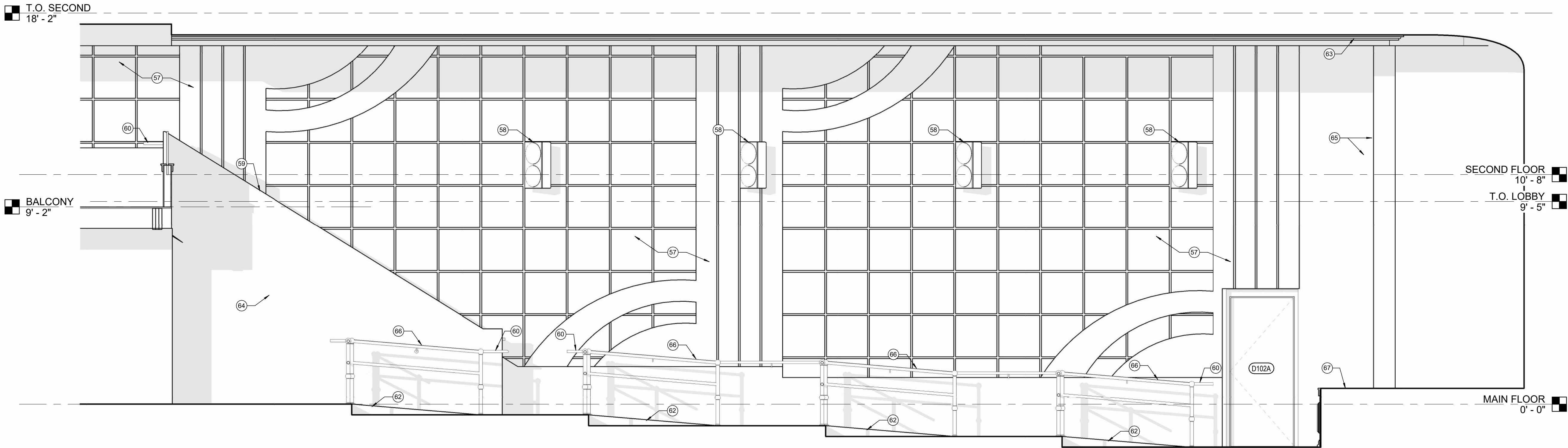
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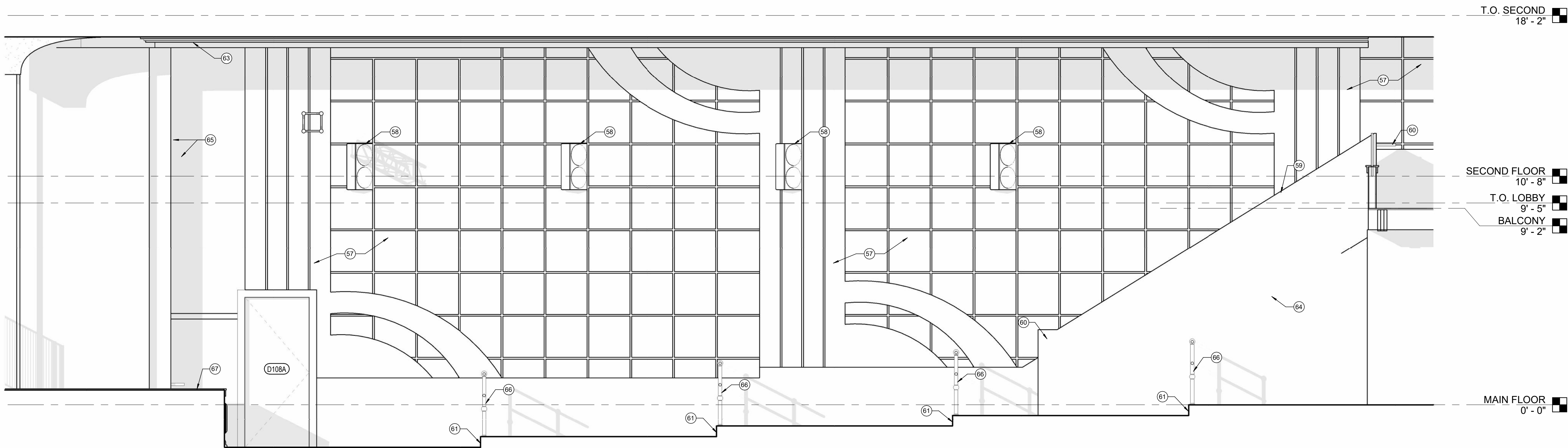


REVISIONS





2 AUDITORIUM - WEST ELEVATION  
3/8" = 1'-0"



1 AUDITORIUM - EAST ELEVATION  
3/8" = 1'-0"

KEYNOTE - INTERIOR ELEVATIONS

- 50 BULLNOSE BORDER
- 51 COUNTERTOP ON CONCEALED BRACKET - REFER TO MOUNTING HEIGHTS AND DIMENSIONS ON STANDARDS SHEET
- 52 TILE COVE BASE
- 53 ABUSE - RESISTANT GYP. BD. FINISH @ RESTROOM WALLS - PRIME / PAINT (TYP)
- 54 GRAB BAR (PROVIDE BLOCKING AS REQUIRED) - REFER TO MOUNTING HEIGHTS ON STANDARDS SHEET
- 55 MIRROR - FULL WIDTH OF COUNTER
- 56 TILE WALL FINISH
- 57 NEW FIBERBOARD ACOUSTICAL PANELING WITH FABRIC WRAP ON FURRING STRIP, INTEGRATED LED ACCENT LIGHTING (REFER TO DETAIL DRAWING)
- 58 SPEAKERS BY OTHER (PROVIDE WIRING IN COORDINATION WITH TENANT FINISH PLAN)
- 59 GUARDRAIL AT 42" ABOVE TREAD NOSING - STEEL PICKETS AND POSTS WITH WOOD TOP RAIL
- 60 HANDRAIL @ 2'-10" ABOVE TREAD NOSING, CONTINUOUS, WITH 12" EXTENSION TOP AND BOTTOM
- 61 RISER STEP WITH INTEGRATED LIGHTING, REFER TO ELECTRICAL AND DETAILS
- 62 RAMP, MAX SLOPE 1:12
- 63 COVE MOLDING, CONTINUOUS AT LOWER CEILING PORTION - REFER TO RCP AND SECTION DETAILS
- 64 NEW STAIR TO BALCONY
- 65 CURTAIN BY OTHER
- 66 RAIL AT RISER EDGE - BRASS TUBE WITH ROUND CONNECTORS
- 67 BUILT-UP STAGE - REFER TO SECTION DETAILS

ARCHITECTURAL PHASING LEGEND

- DEMOLISHED ELEMENT OR FEATURE
- DEMOLISHED WALL OR COLUMN
- EXISTING TO REMAIN
- IMPORTANT HISTORIC FABRIC OR ELEMENT
- NEW FEATURE

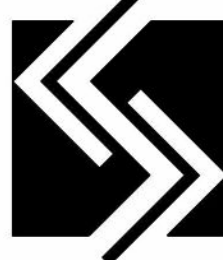
GENERAL NOTES - INTERIOR ELEVATION

- GENERAL**  
A. INTERIOR ELEVATIONS ARE INTENDED TO PROVIDE INFORMATION ABOUT CONSTRUCTION SCOPE AND VERTICAL RELATIONSHIPS BETWEEN PRIMARY ELEMENTS/FEATURES. CONTRACTOR SHALL PROVIDE ALL ACCESSORIES, FASTENERS, SEALANTS, AND TRIM FOR A COMPLETE AND FINISHED APPEARANCE.
- B. SOME ELEMENTS MAY BE SIMPLIFIED FOR READABILITY ON THE DRAWINGS. REFER TO INTERIOR DESIGN AND DETAIL DRAWINGS IN THIS SET FOR ADDITIONAL INFORMATION REGARDING PROFILES, TRIM, AND DETAILS.
- DIMENSIONS**  
C. VERIFY DIMENSIONS OF WORK IN PLACE AS NEW WORK IS LAID OUT. CORRECT WORK OUT OF COMPLIANCE WITH THE DESIGN DRAWINGS BEFORE SUBSEQUENT WORK IS INSTALLED. CONFIRM DISCREPANCIES WITH ARCHITECT.
- D. DIMENSIONS ON INTERIOR ELEVATIONS: DIMENSIONS ON INTERIOR ELEVATIONS ARE GIVEN TO INSTALLED ELEMENTS UNLESS NOTED OTHERWISE.
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- FRAMING**  
F. ALL FRAMING SHALL BE WOOD STUD/JOIST UNLESS NOTED OTHERWISE.
- G. PROVIDE BLOCKING AT CABINETRY, EQUIPMENT, AND ANY OTHER WALL OR CEILING-MOUNTED FIXTURES AS REQUIRED BY MANUFACTURER INSTALLATION INSTRUCTIONS (NOT SHOWN ON DRAWINGS).
- FINISHES**  
H. REPAIR WALL, CEILING, AND FLOOR SUBSTRATES AFTER DEMOLITION OF EXISTING ATTACHED WORK AND FINISHES. PREPARE AS REQUIRED FOR NEW FINISHES. NEW FINISHES ADJACENT TO EXISTING SHALL BE FLUSH/FEATHERED OUT TO ALIGN.
- I. FINAL HARDWARE, EQUIPMENT, FIXTURE, AND FINISH SELECTIONS TO BE PROVIDED BY INTERIOR DESIGNER AND OWNER. COORDINATE FRAMING, BLOCKING, INSTALLATION DETAILS, AND FASTENING REQUIREMENTS WITH FINAL SELECTIONS.

HISTORIC BUILDING NOTE

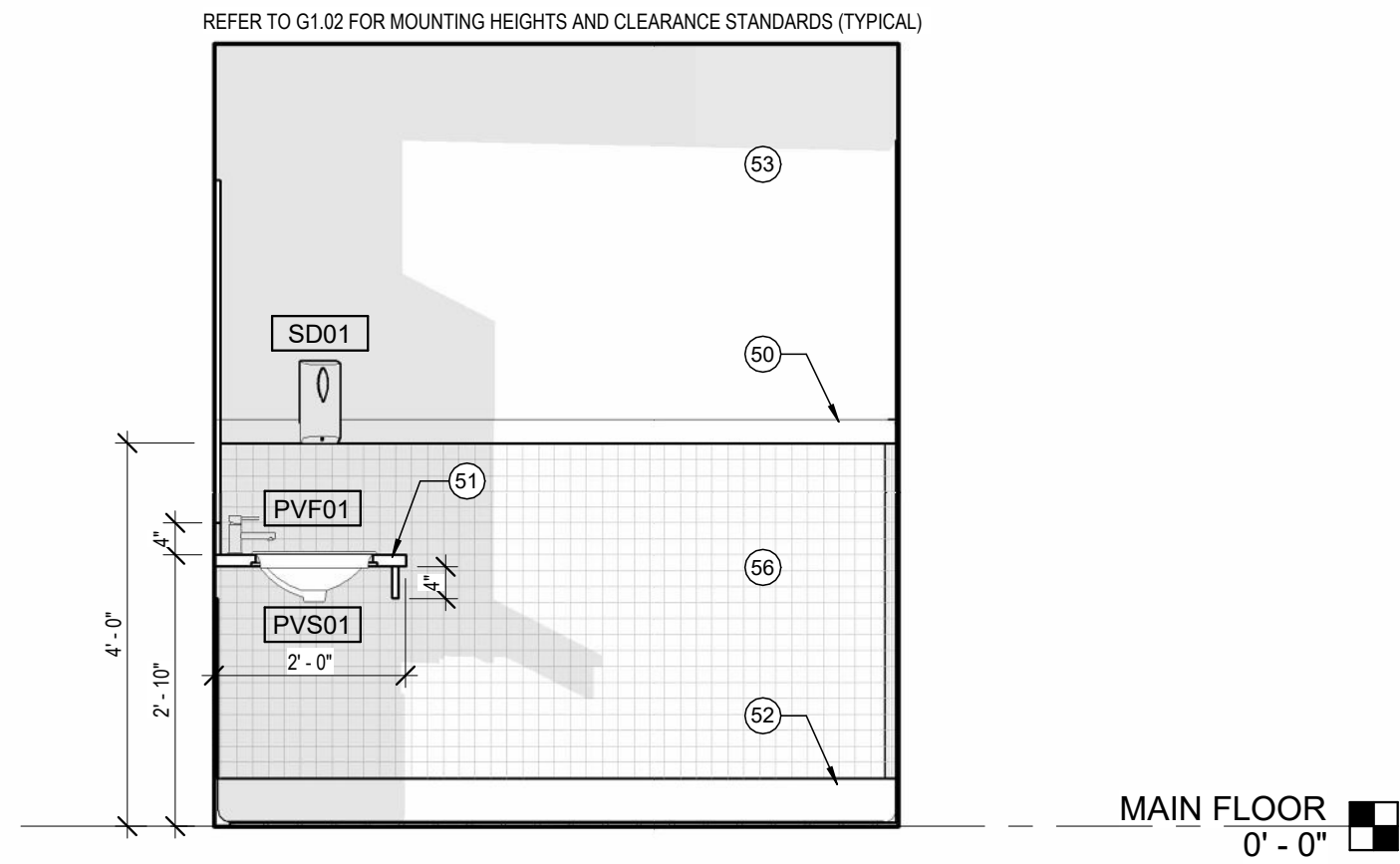
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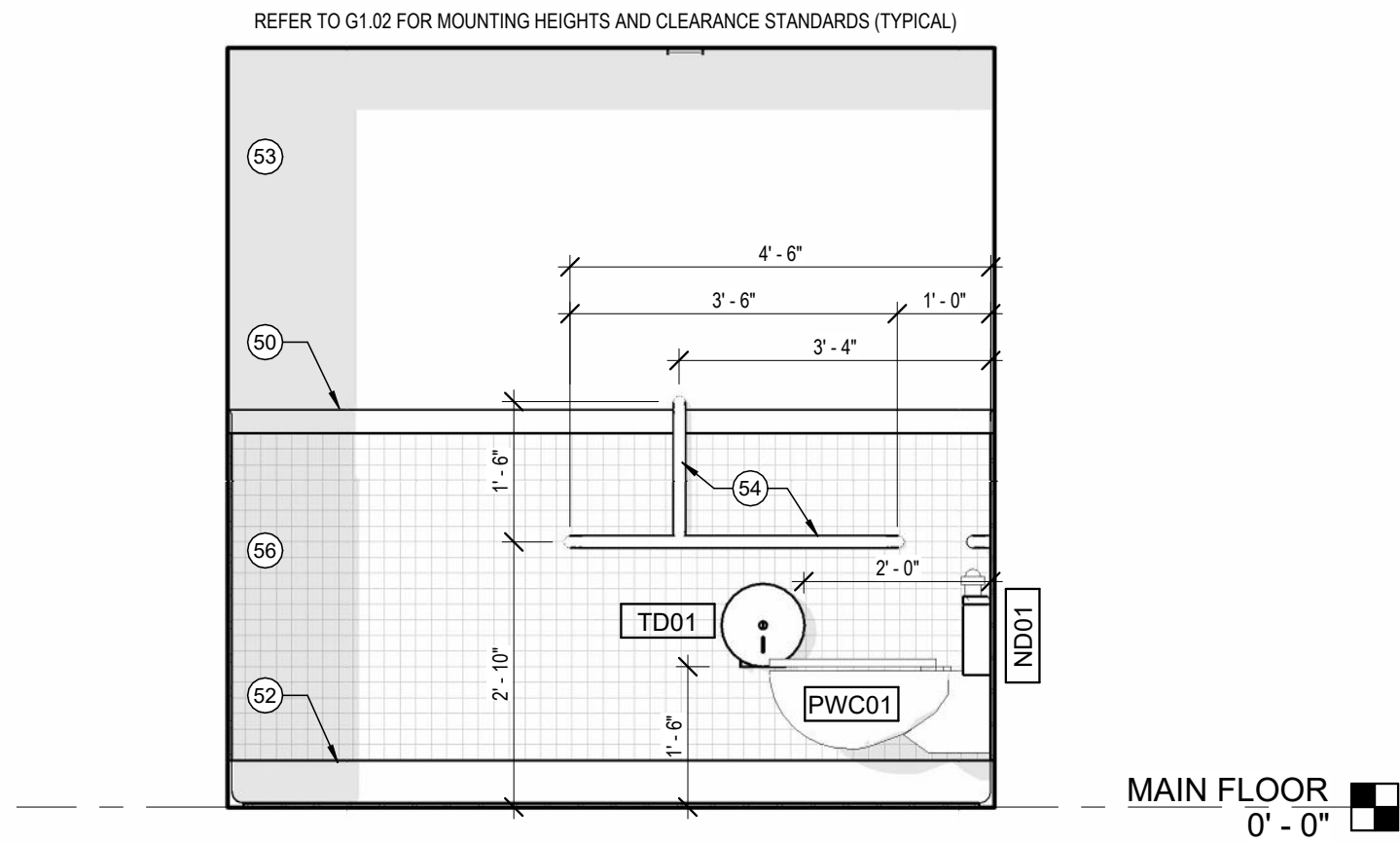




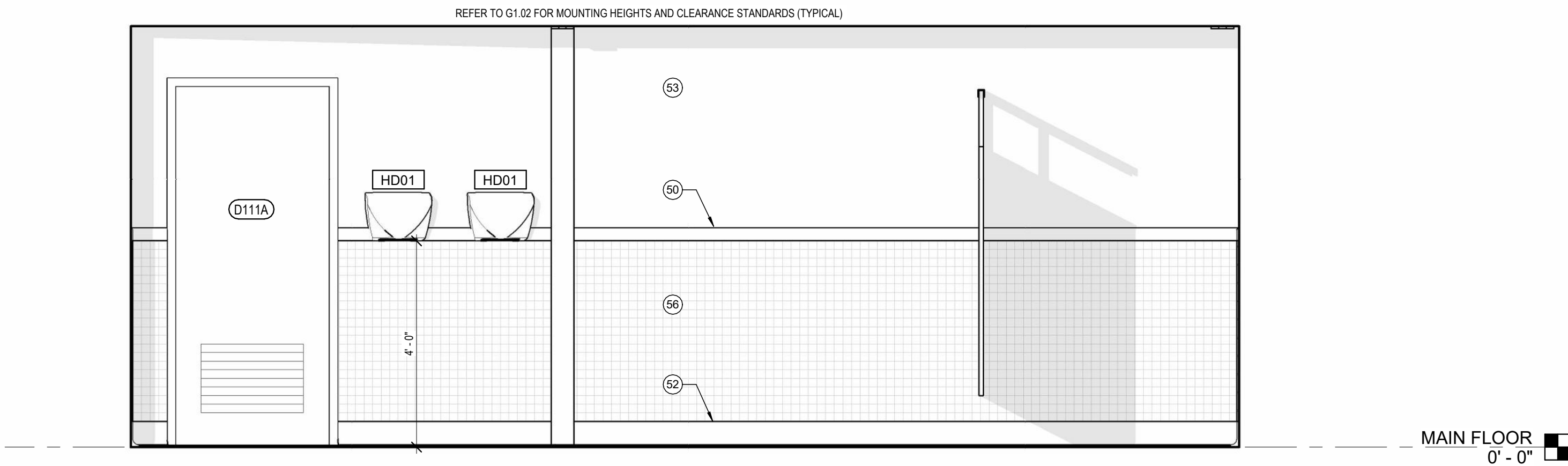
5 | **WOMEN'S RESTROOM - SOUTH ELEVATION**  
1/2" = 1'-0"



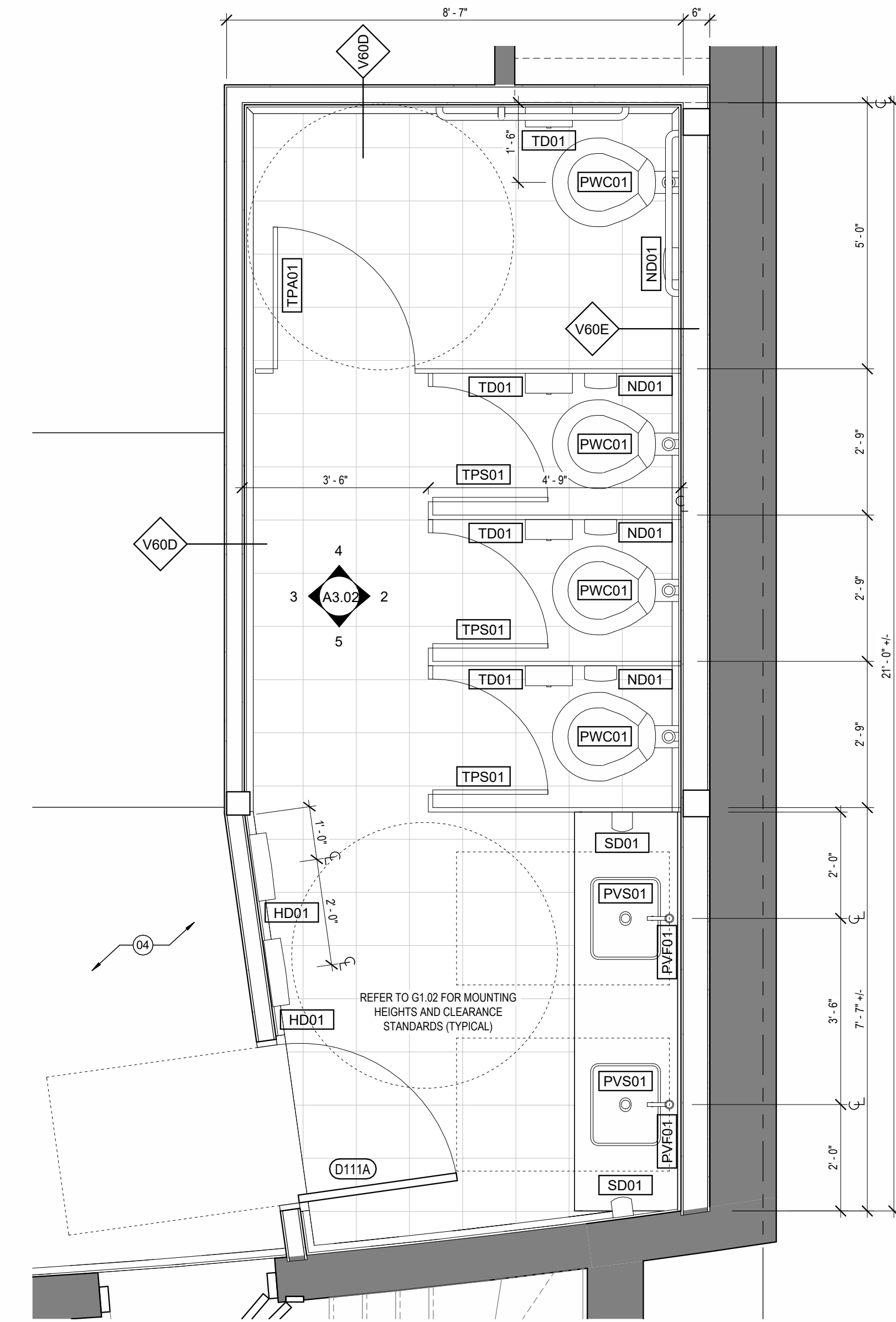
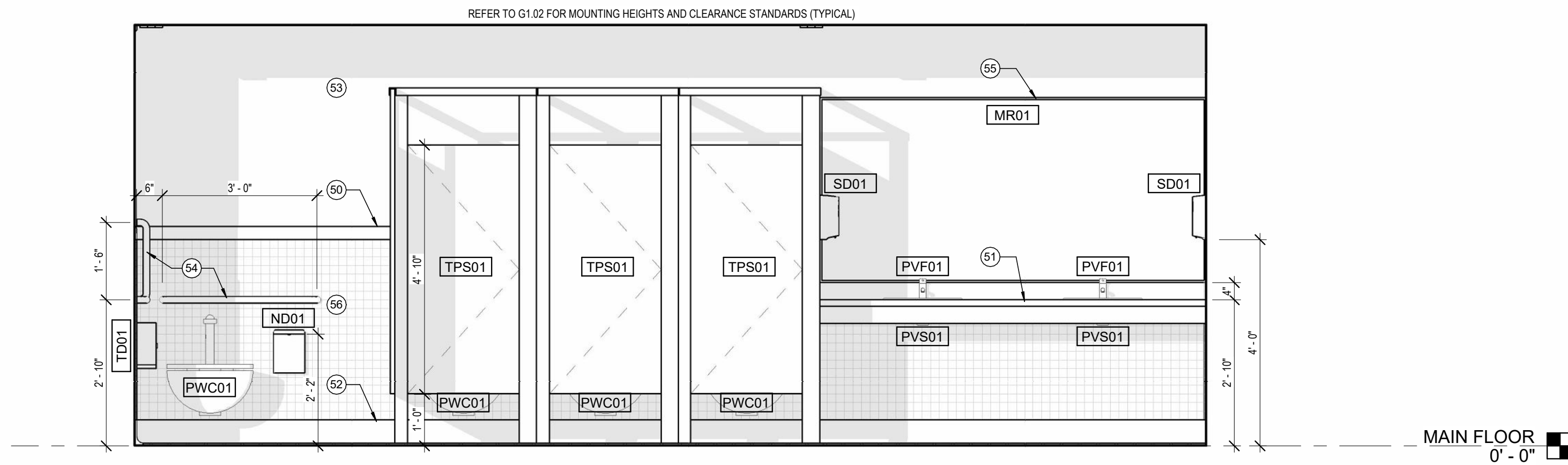
4 | **WOMEN'S RESTROOM - NORTH ELEVATION**  
1/2" = 1'-0"



3 | **WOMEN'S RESTROOM - WEST ELEVATION**  
1/2" = 1'-0"



2 | **WOMEN'S RESTROOM - EAST ELEVATION**  
1/2" = 1'-0"



1 | **ENLARGED PLAN - WOMEN'S RESTROOM**  
1/2" = 1'-0"

**KEYNOTE - FLOOR PLANS**

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**ARCHITECTURAL PHASING LEGEND**

- DEMOLISHED ELEMENT OR FEATURE
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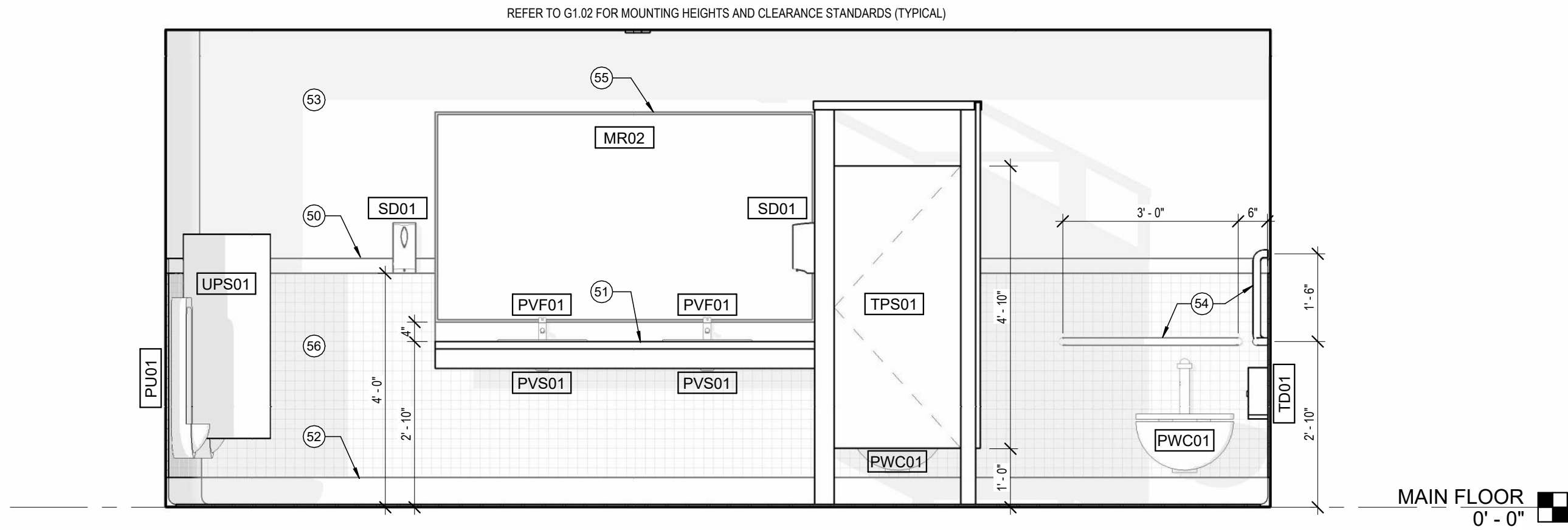
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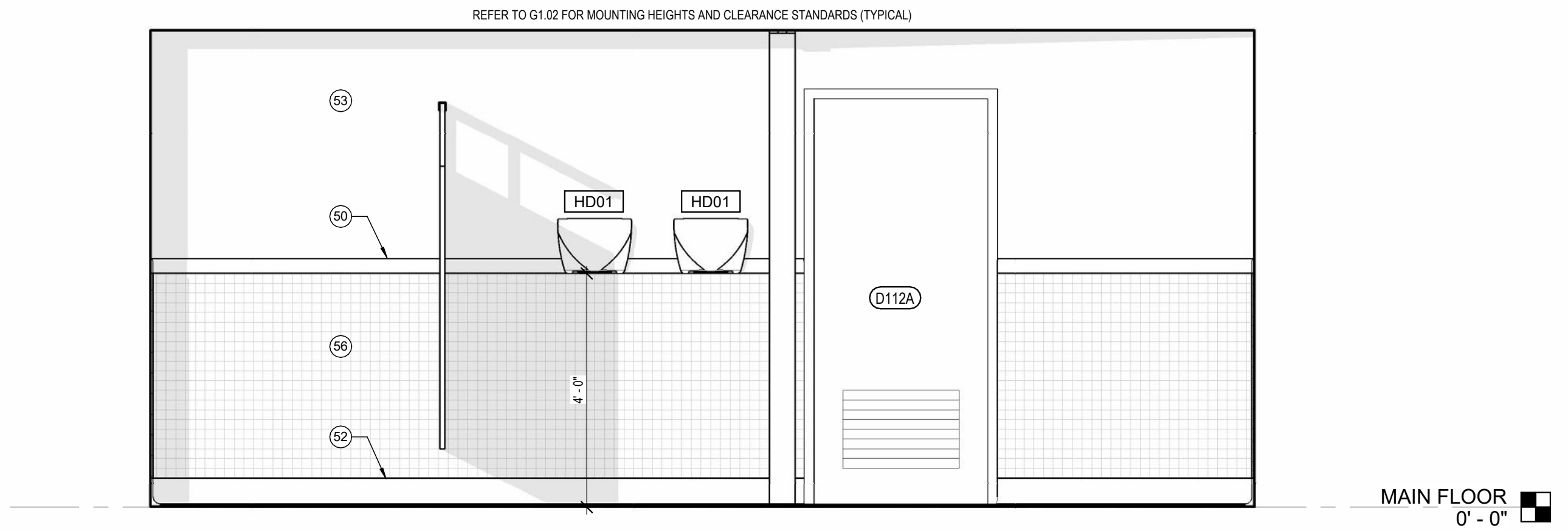




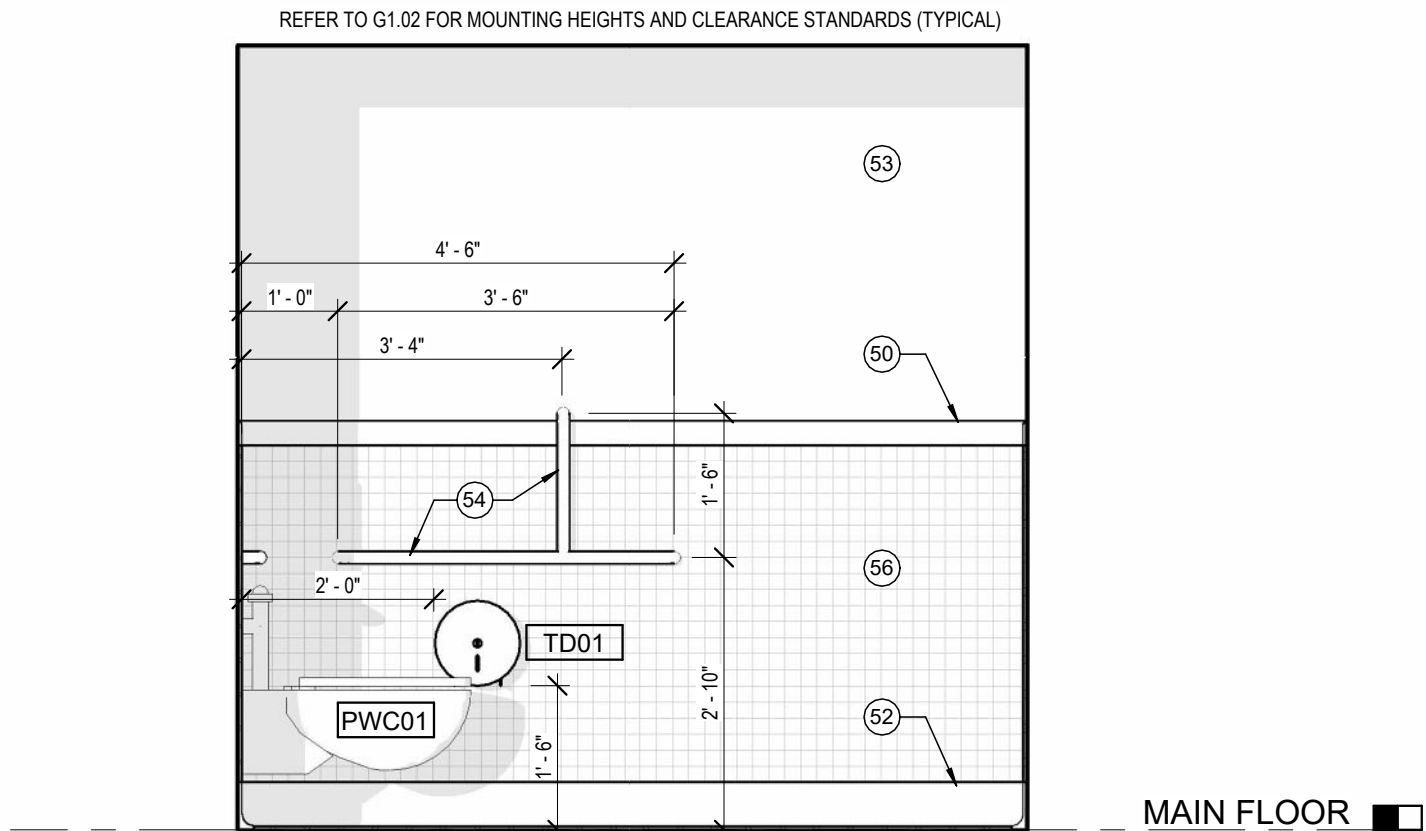
2 | MEN'S RESTROOM - WEST ELEVATION  
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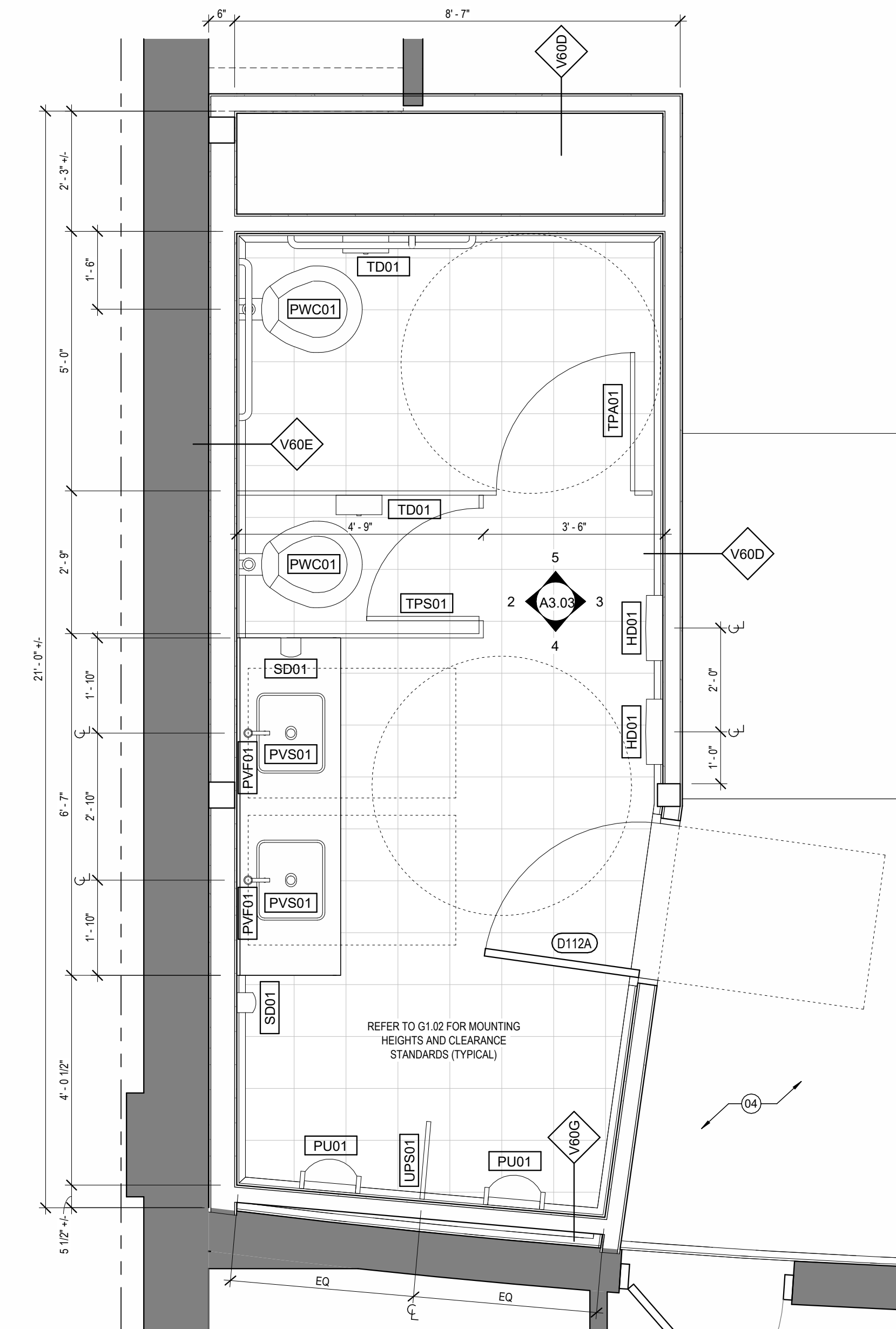
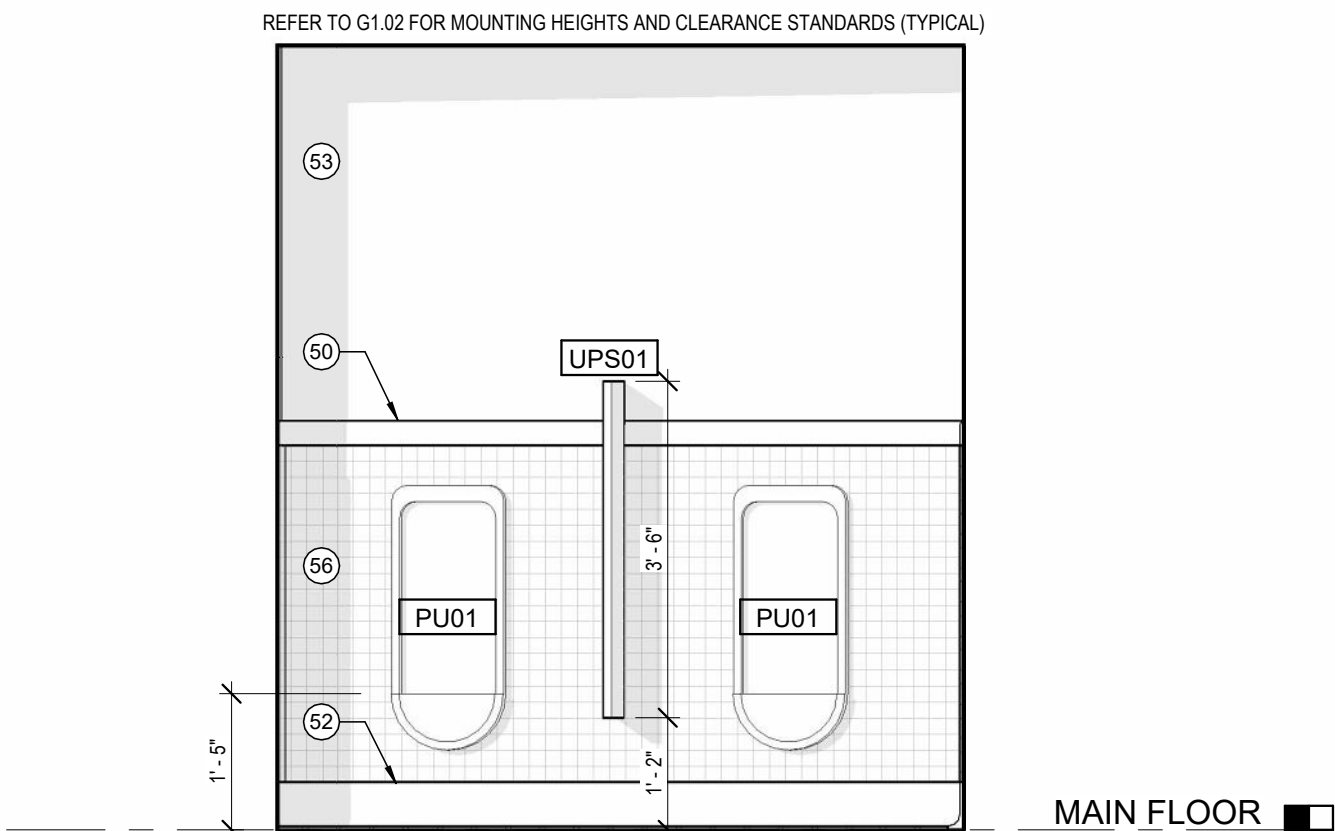
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4 | MEN'S RESTROOM - SOUTH ELEVATION  
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1 | ENLARGED PLAN - MEN'S RESTROOM  
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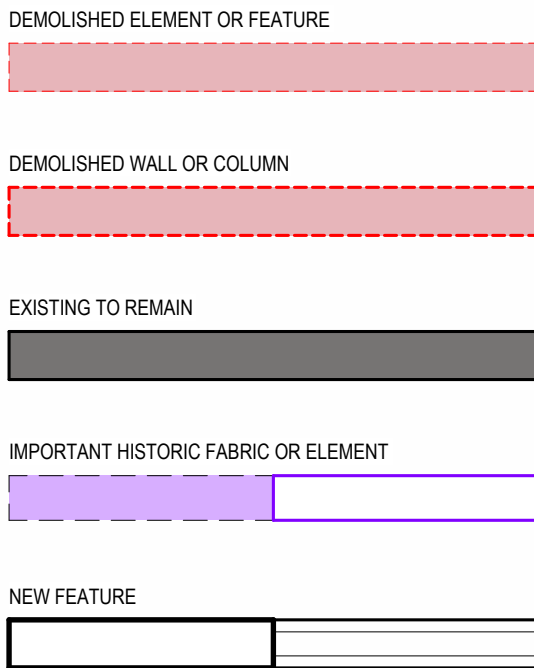
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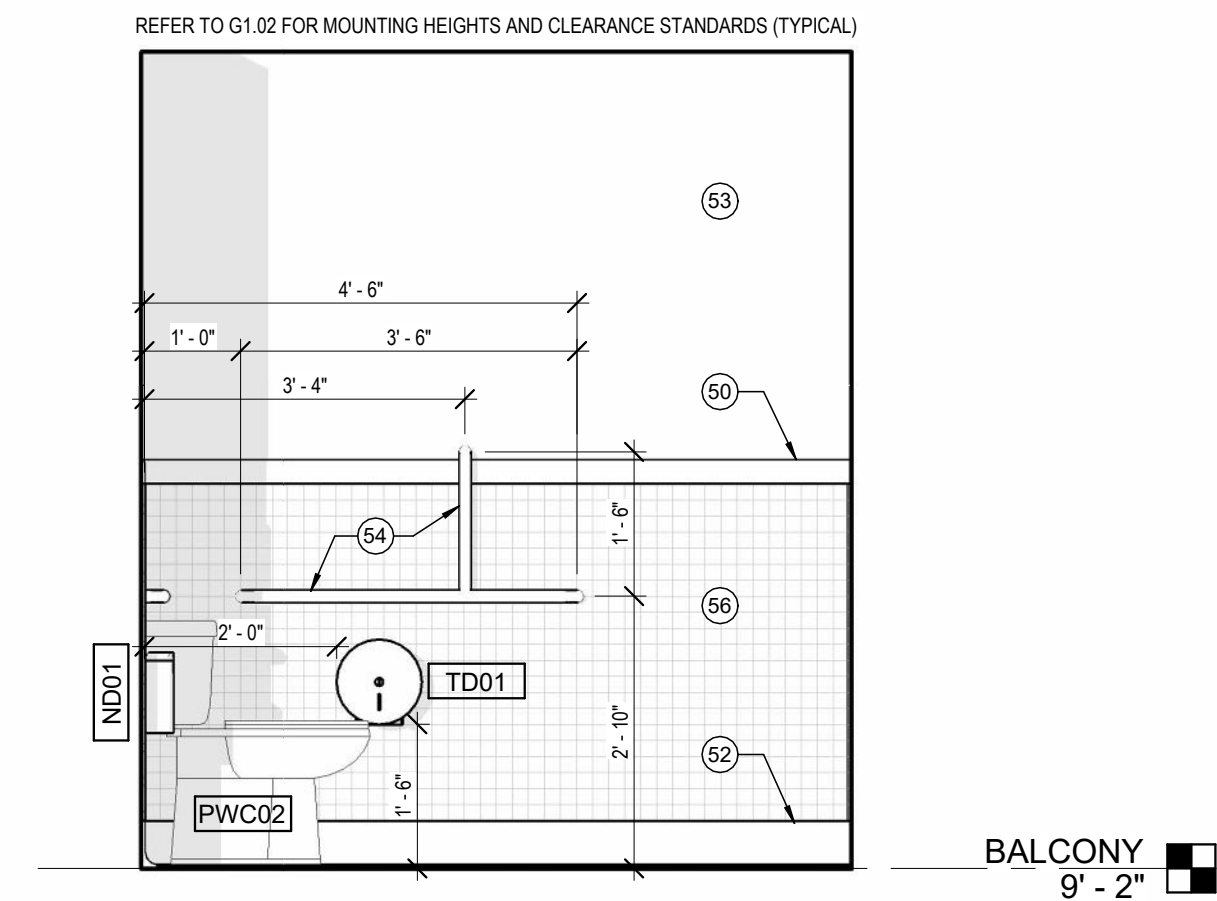
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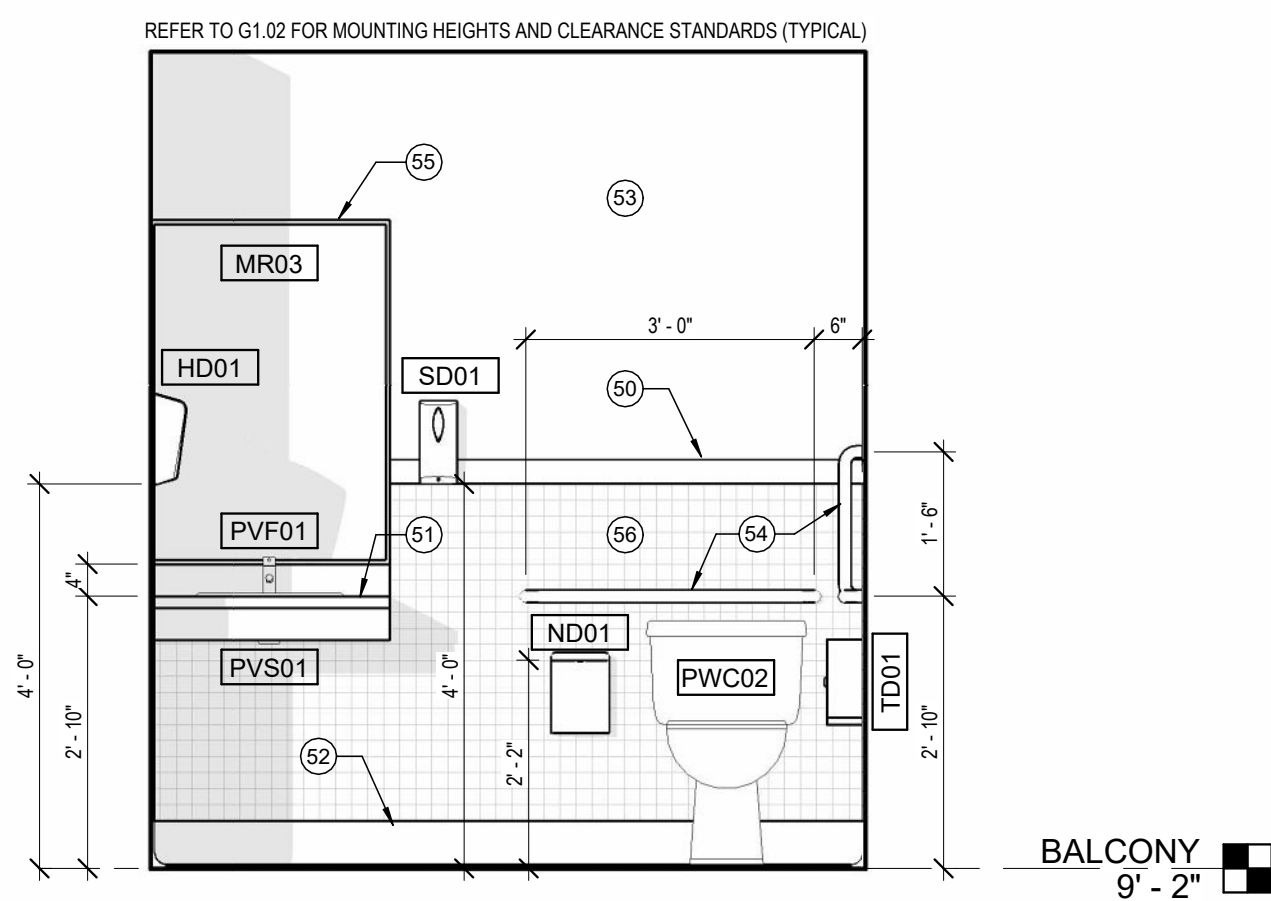
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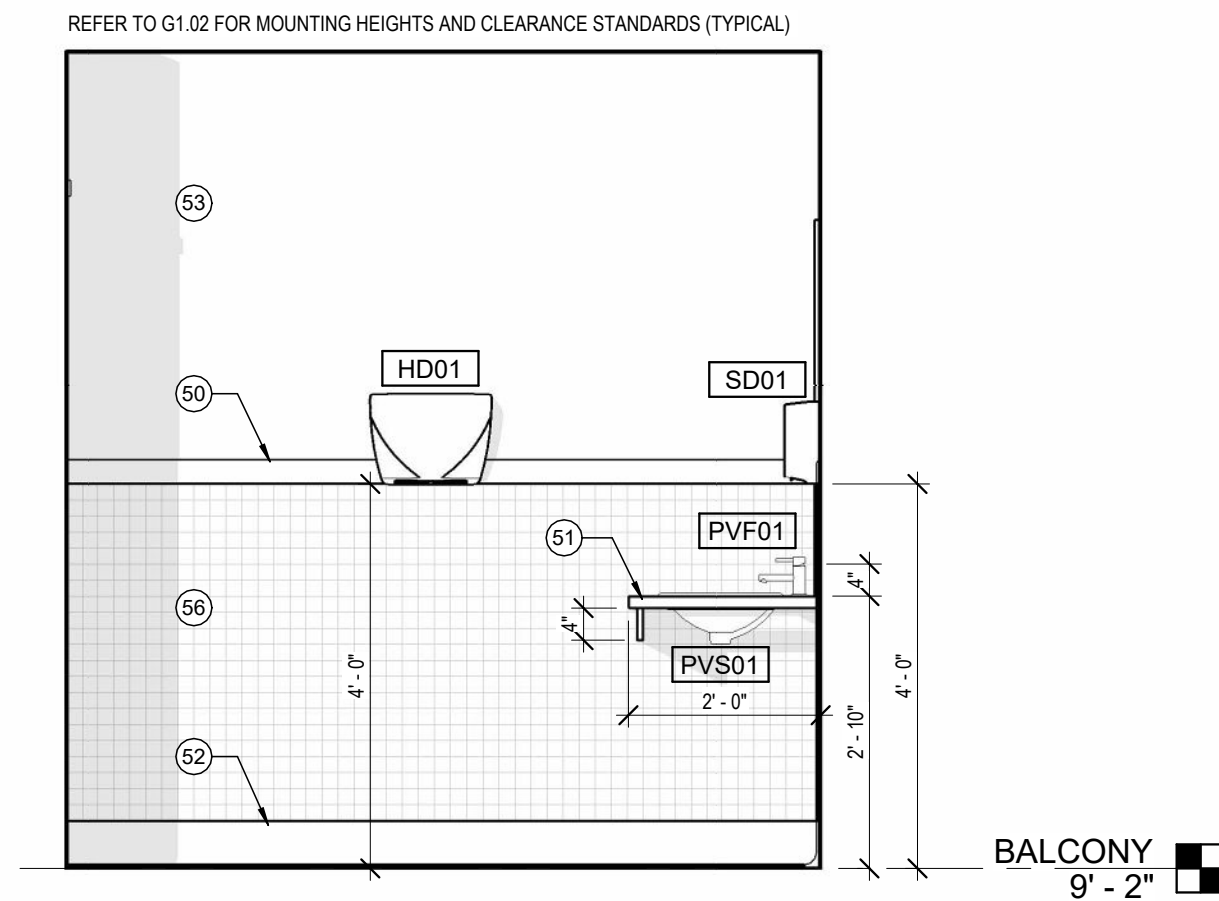




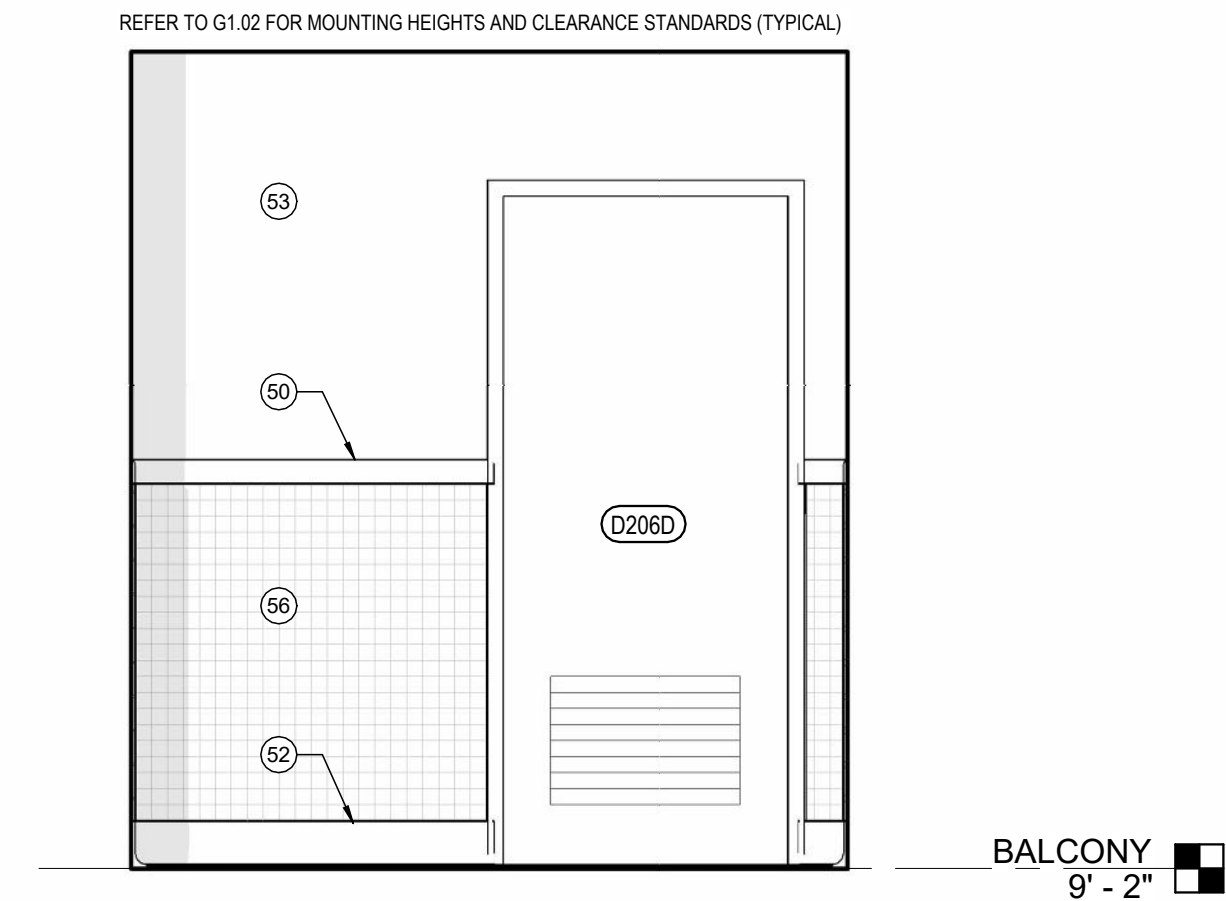
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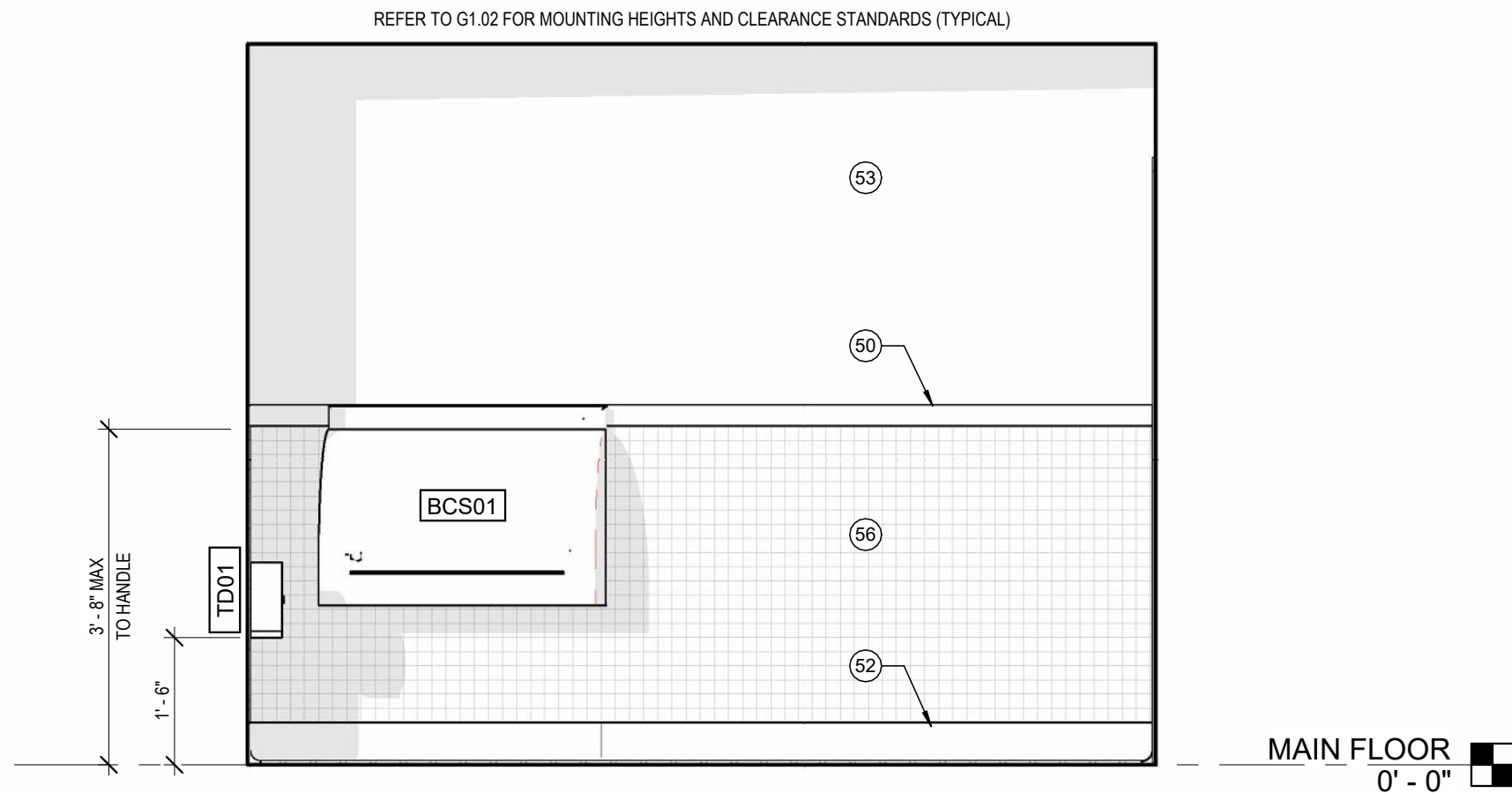
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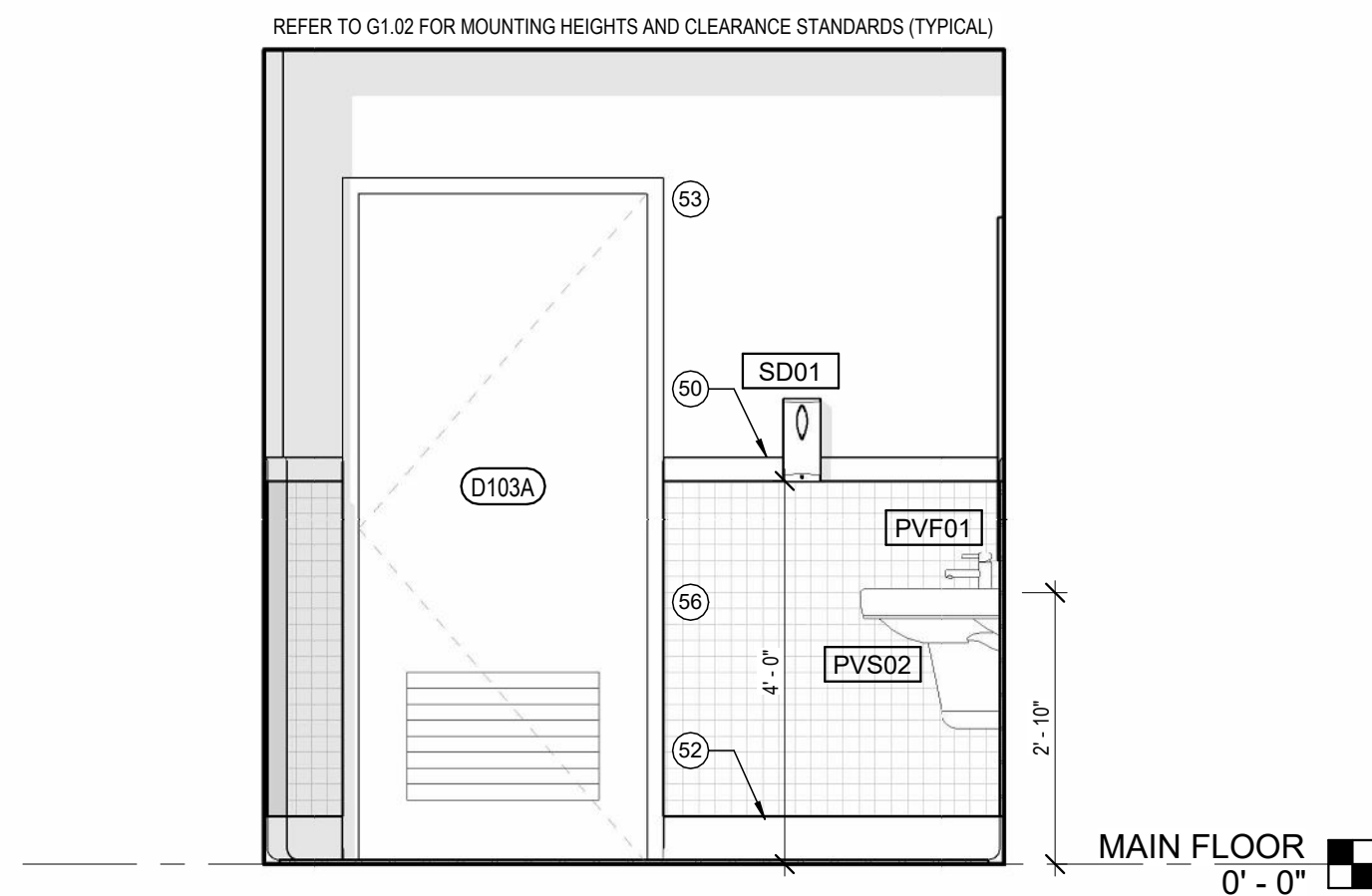
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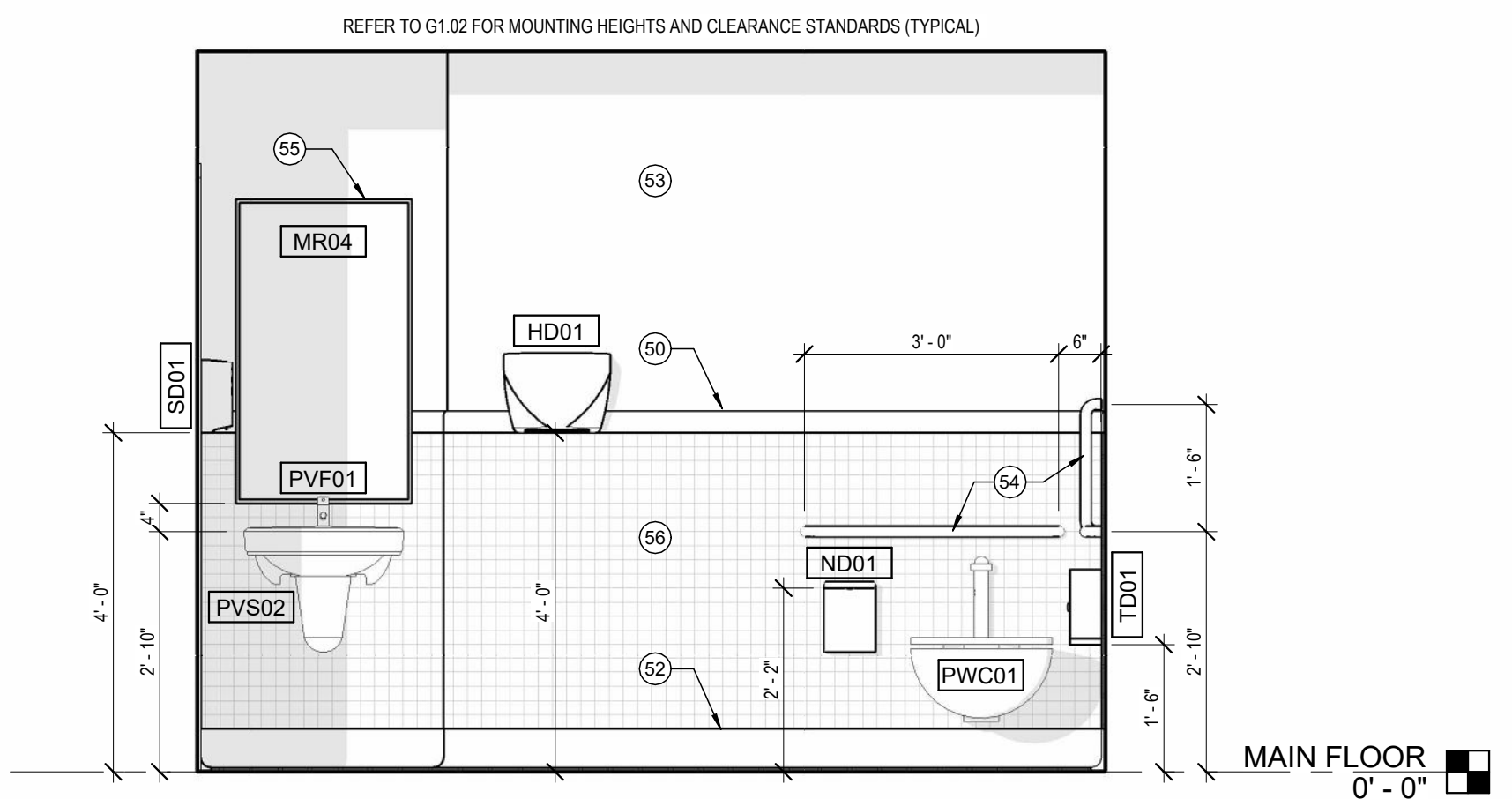
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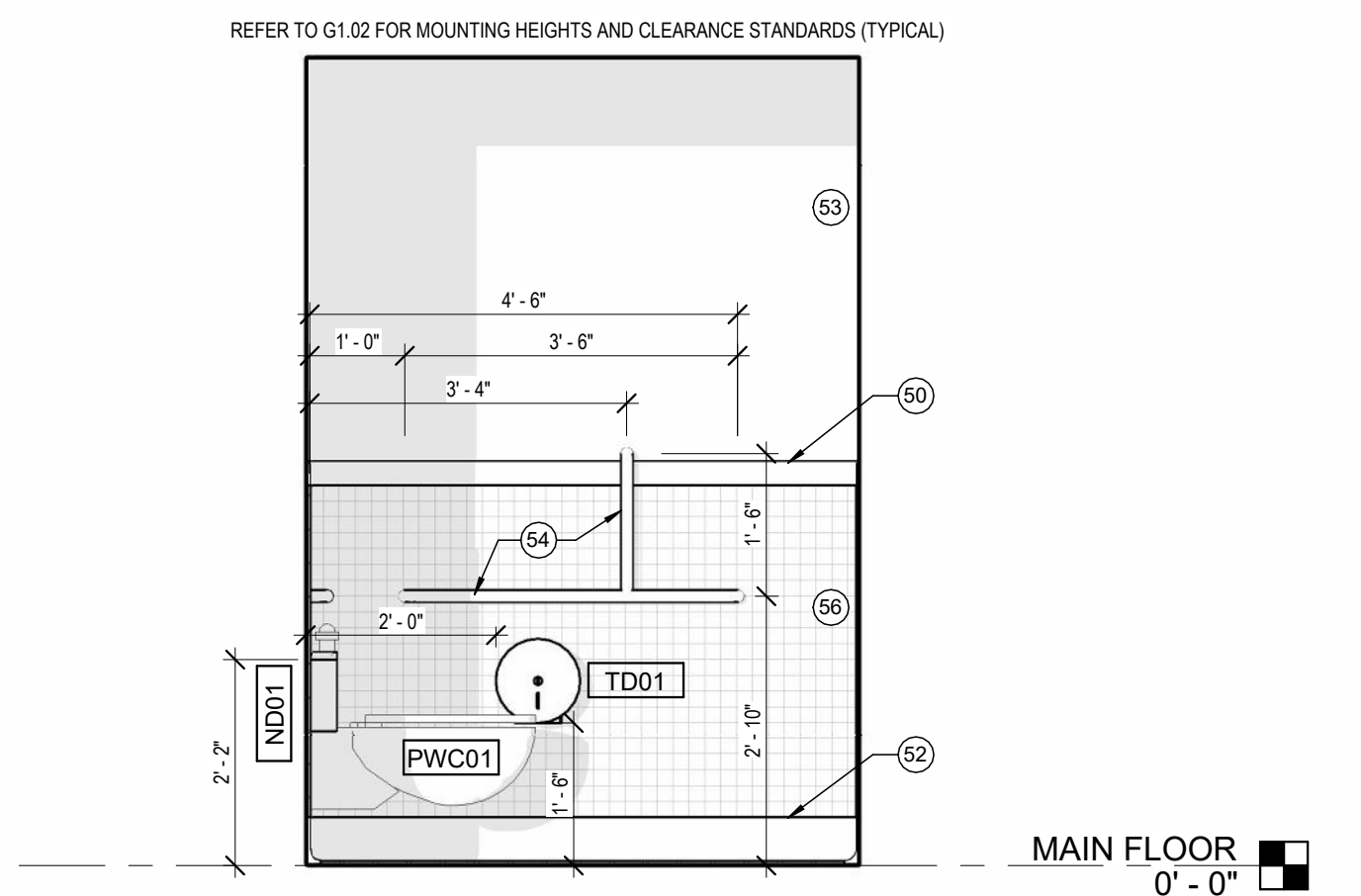
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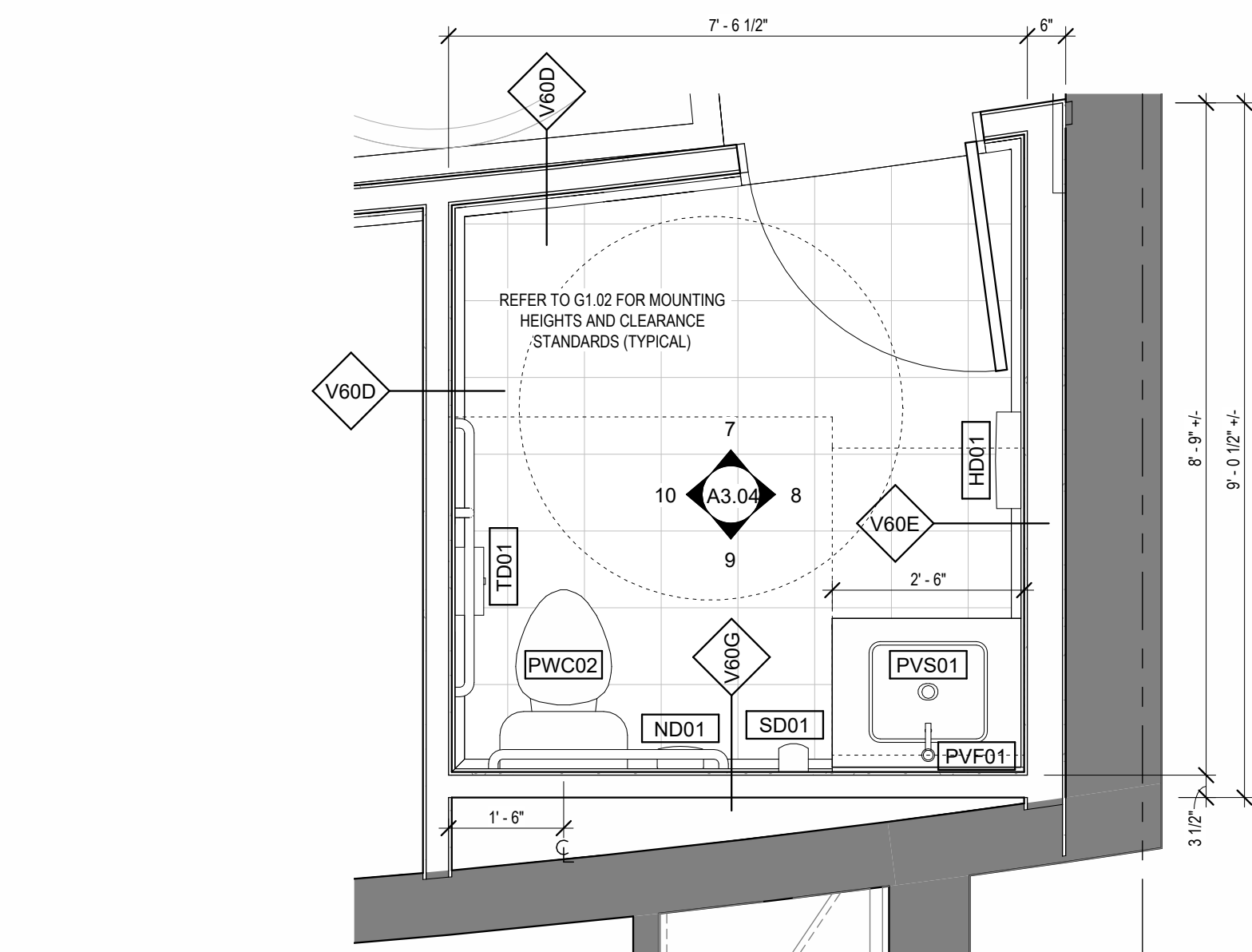
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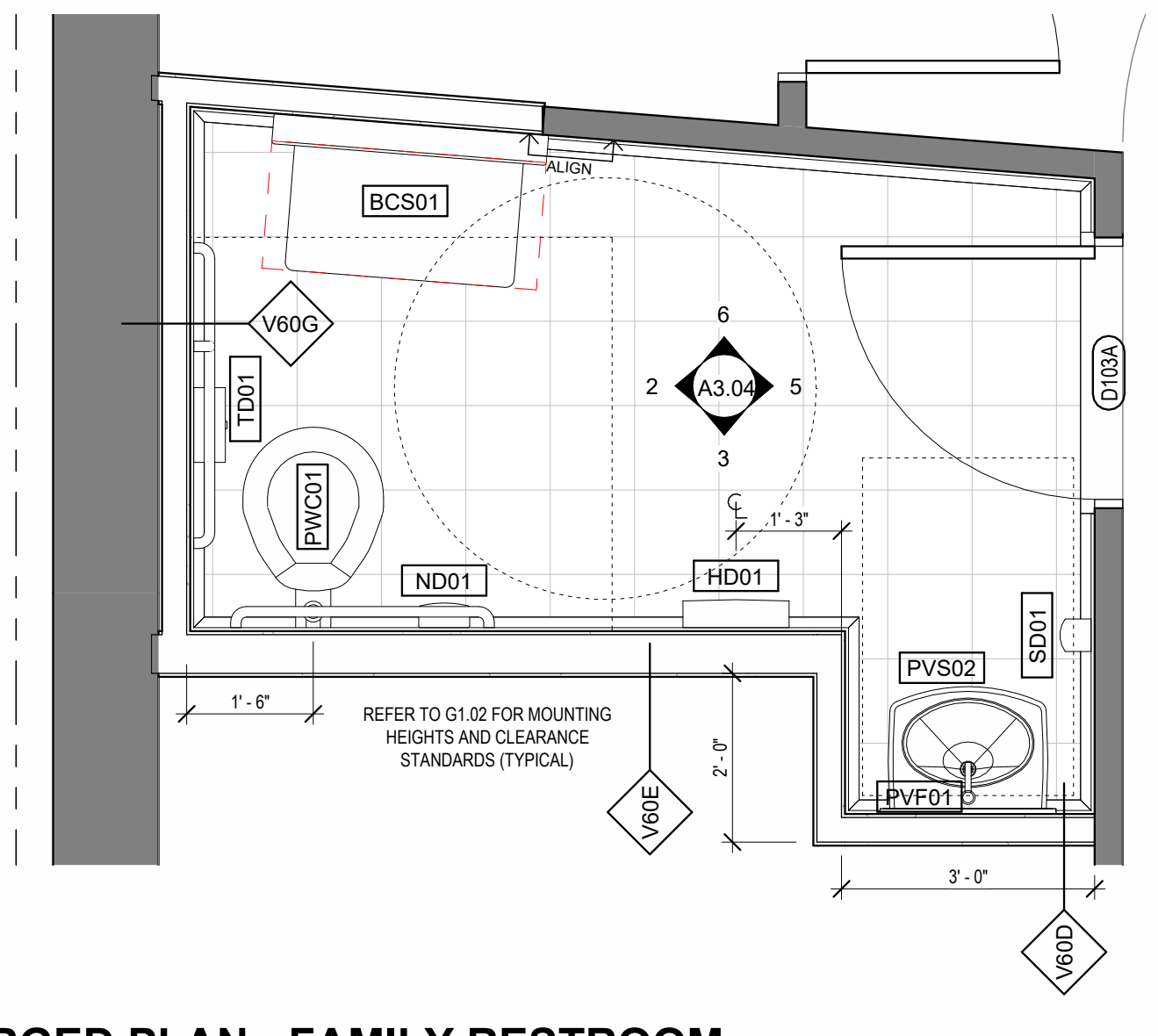
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4 ENLARGED PLAN - BALCONY RESTROOM  
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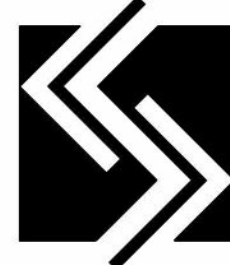
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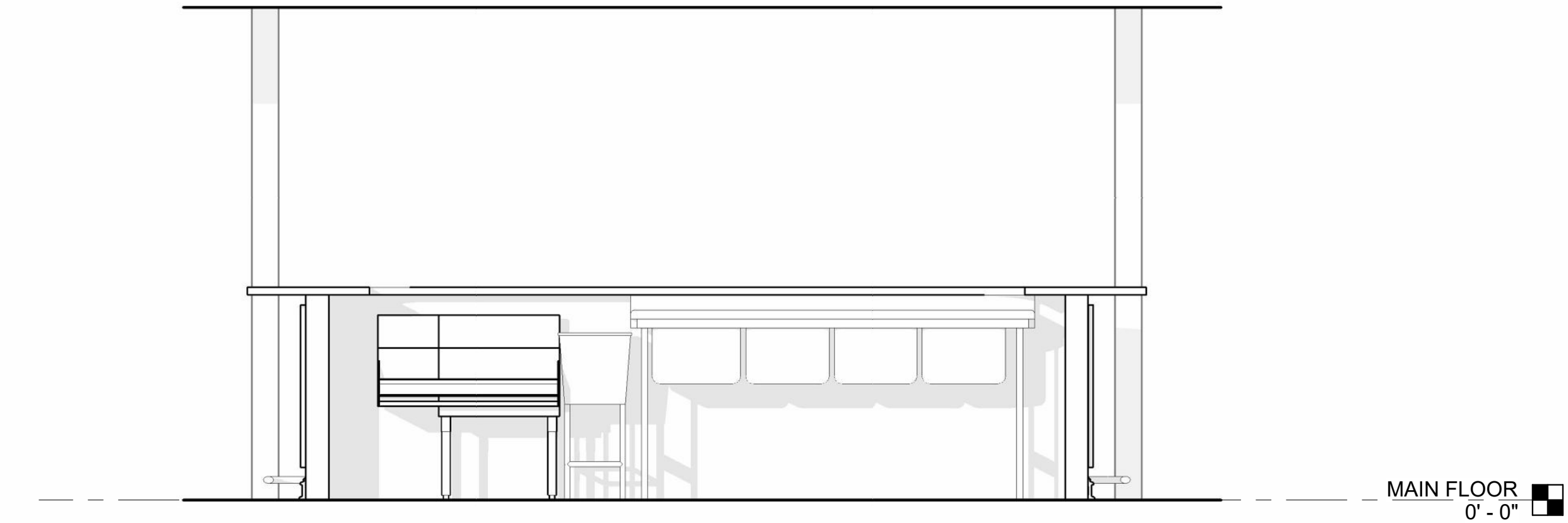
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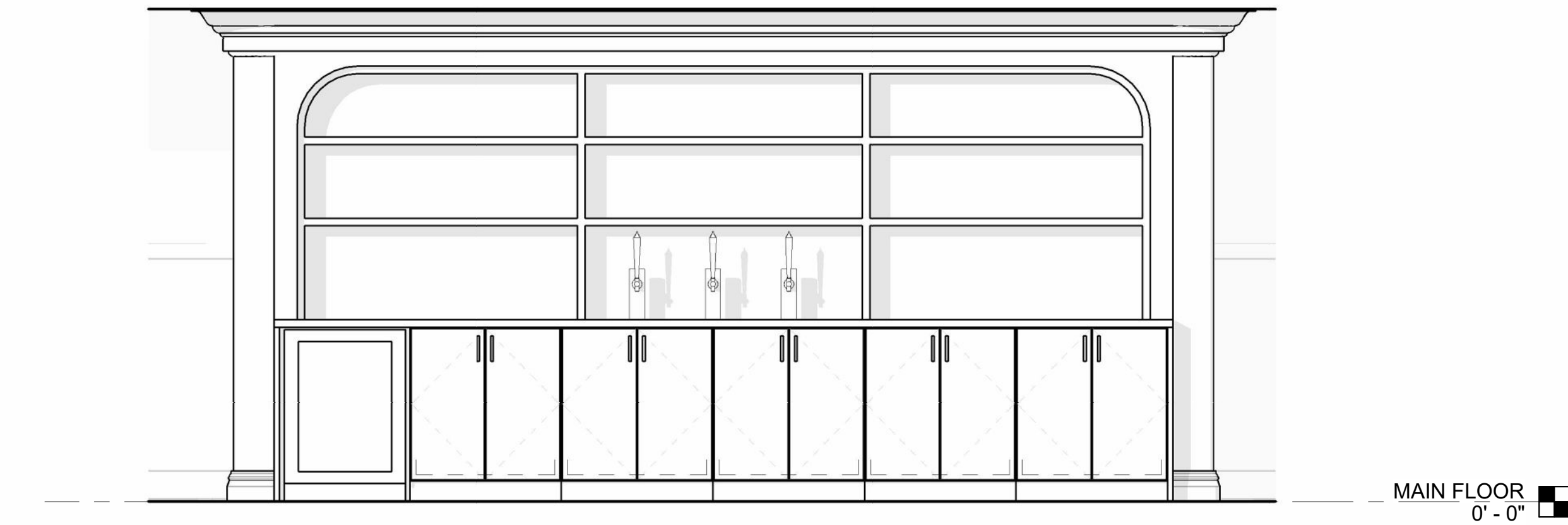
#### REVISIONS

REV DESCRIPTION DATE

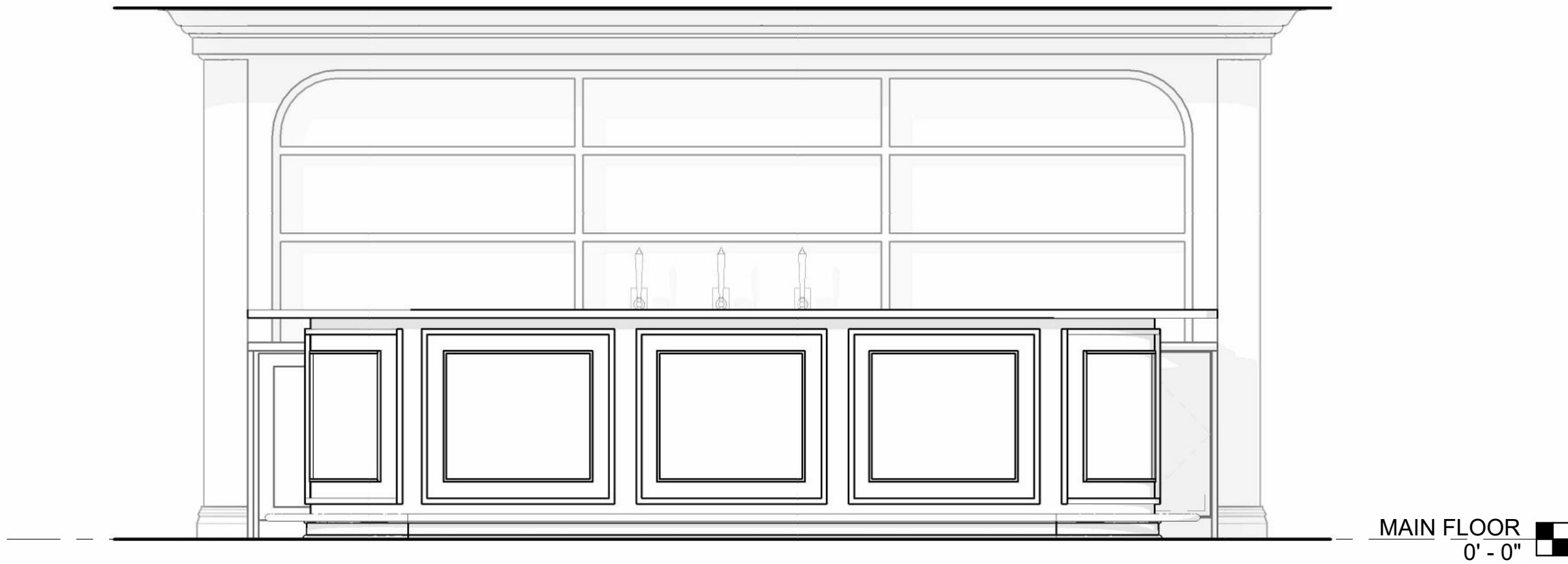




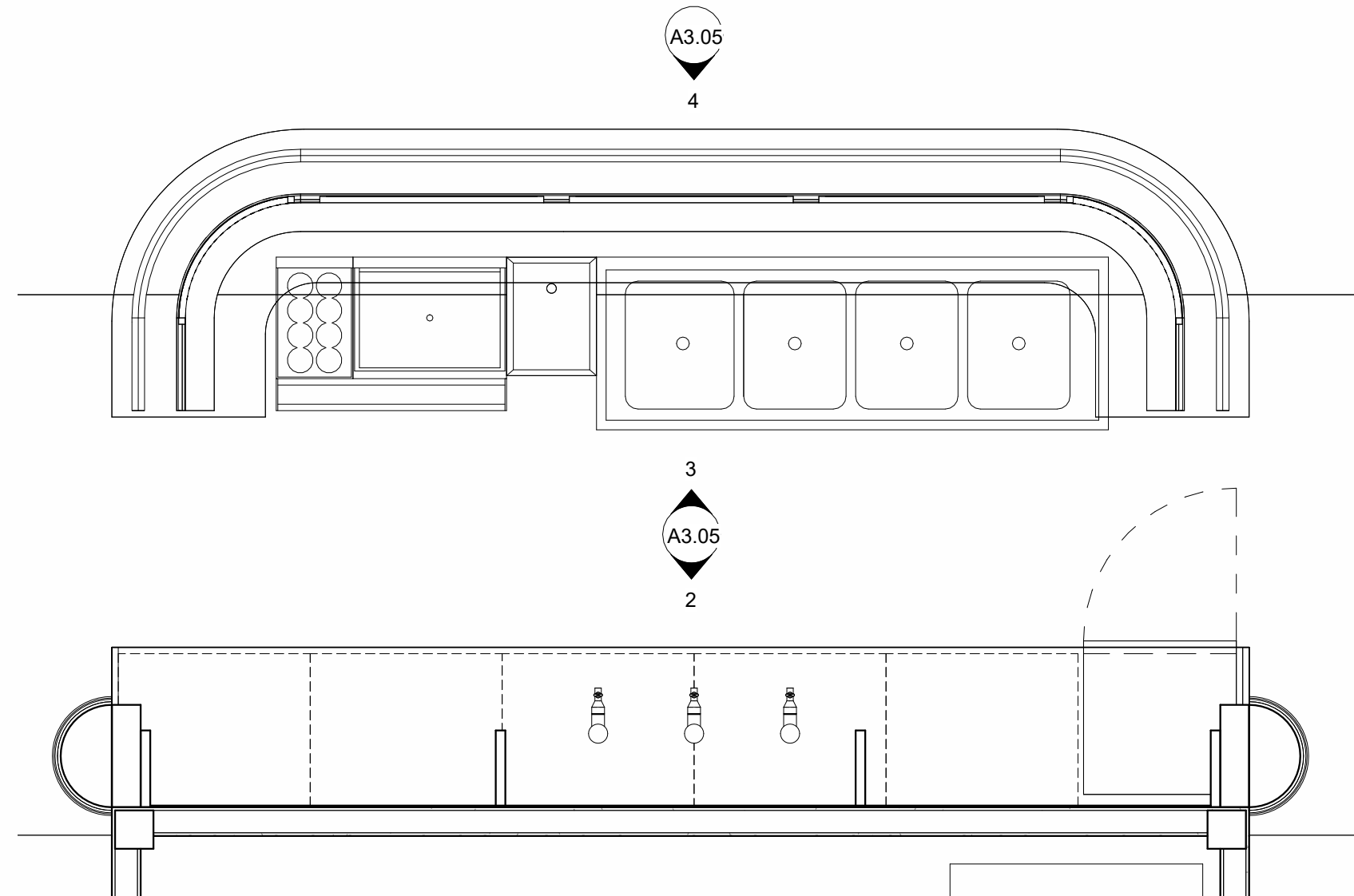
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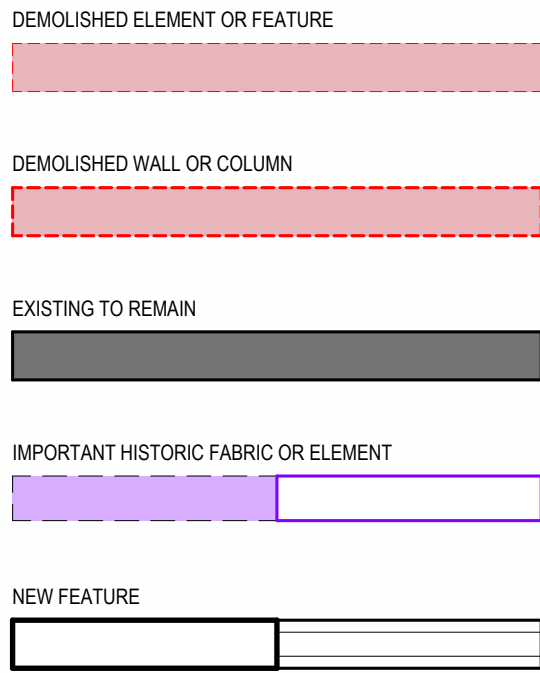
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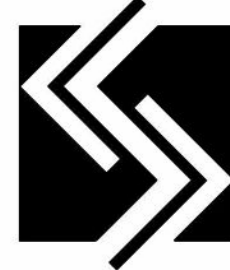
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H. REPAIR WALL, CEILING, AND FLOOR SUBSTRATES AFTER DEMOLITION OF EXISTING ATTACHED WORK AND FINISHES. PREPARE AS REQUIRED FOR NEW FINISHES. NEW FINISHES ADJACENT TO EXISTING SHALL BE FLUSH/FEATHERED OUT TO ALIGN.
- I. FINAL HARDWARE, EQUIPMENT, FIXTURE, AND FINISH SELECTIONS TO BE PROVIDED BY INTERIOR DESIGNER AND OWNER. COORDINATE FRAMING, BLOCKING, INSTALLATION DETAILS, AND FASTENING REQUIREMENTS WITH FINAL SELECTIONS.

#### HISTORIC BUILDING NOTE

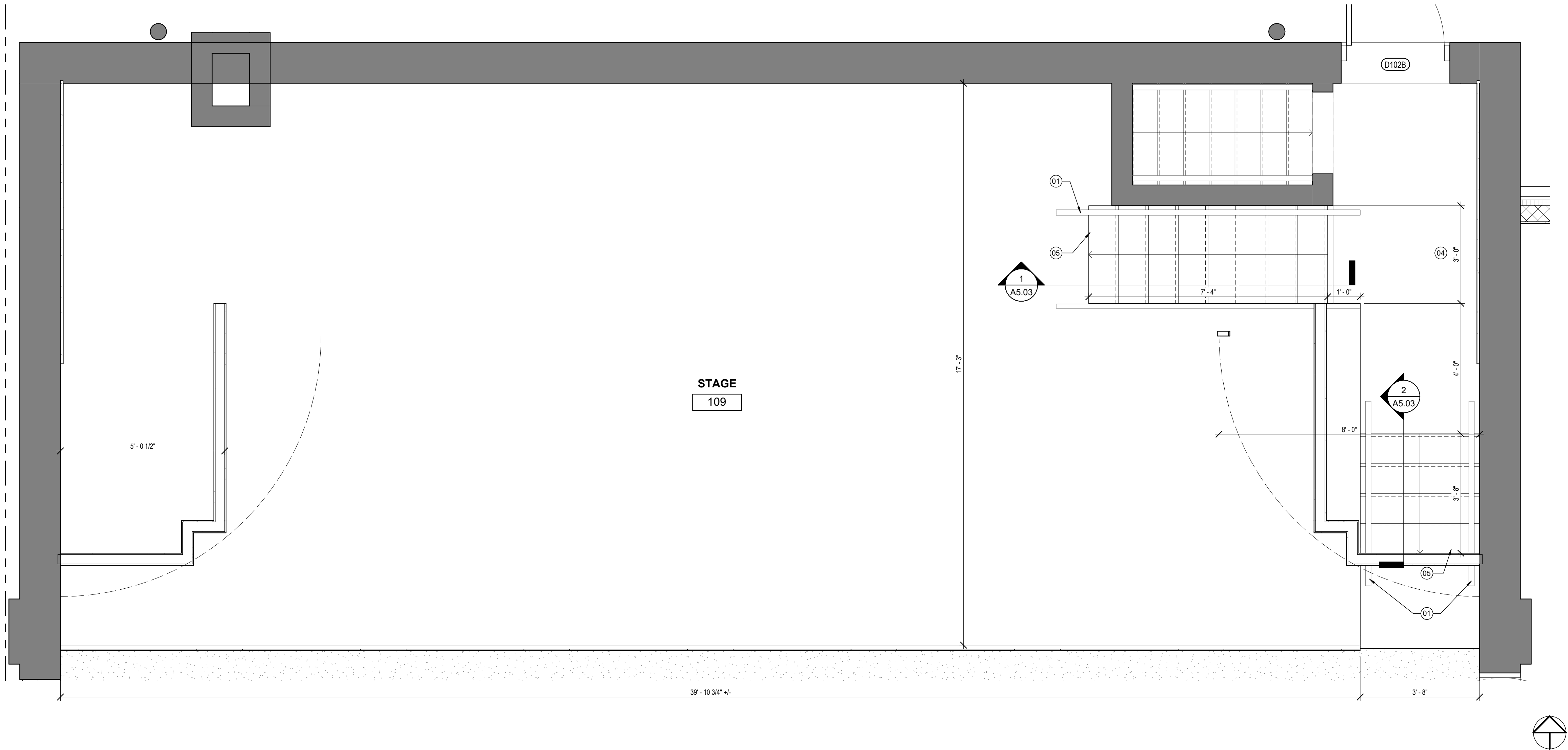
THIS IS A HISTORIC BUILDING. DO NOT REMOVE, DAMAGE, OR ALTER ANY ORIGINAL BUILDING ELEMENT NOT SPECIFICALLY INDICATED ON THE DRAWINGS TO BE IMPACTED.

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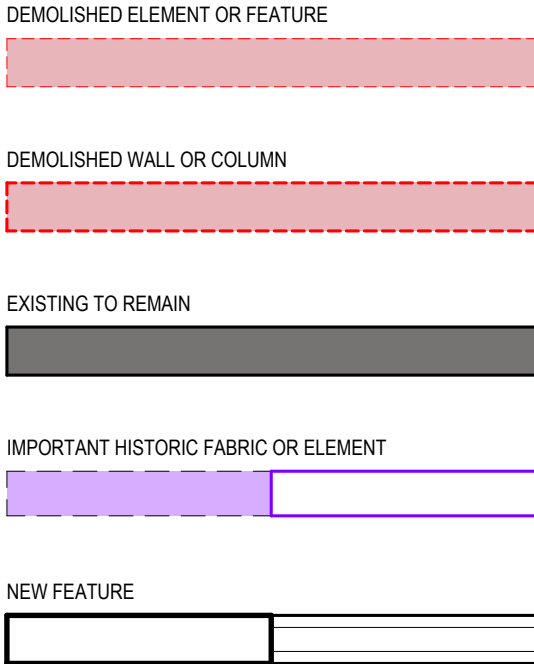
1 | ENLARGED PLAN - STAGE  
1/2" = 1'-0"



KEYNOTE - FLOOR PLANS

- 01 HANDRAIL - 1-1/2" ROUND TUBE STEEL (PRIME/PAINT), MOUNT @ 2'-10" ABOVE RAMP/STAIR, 12" EXTENSION TOP AND BOTTOM, RETURN BACK TO WALL
- 02 NEW PCC RAMP, MAX 1:12 SLOPE TO LANDING AT DOOR - COORDINATE WITH SANITARY LINE EXCAVATION AND FLOOR REPAIRS
- 03 NEW EXTRUDED ALUMINUM STOREFRONT SYSTEM
- 04 NEW FLOOR FINISH AT EXISTING FLOOR, PREPARE SURFACE AS REQUIRED FOR SPECIFIED MATERIAL
- 05 NEW STAIR, REFER TO DETAILS FOR ADDITIONAL INFORMATION
- 06 NEW CURVED WOOD STUD WALL
- 07 SKIM COAT WALLS SMOOTH THIS ROOM
- 08 REPLICATE TRIM (REINSTALL) THIS ROOM

ARCHITECTURAL PHASING LEGEND



GENERAL NOTES - PLAN

- GENERAL**  
A. PROVIDE TEMPORARY SUPPORT AND/OR SHORING AS REQUIRED AT ALL EXISTING WORK TO REMAIN DURING SELECTIVE DEMOLITION AND CONSTRUCTION. SEQUENCE WORK SO AS TO MAINTAIN ADEQUATE SUPPORT TO REMAINING STRUCTURE AT ALL TIMES.
- DRAWING CONVENTIONS**  
B. UNIQUE CONDITIONS/SPACES ARE DESCRIBED ON EXPANDED PLAN SHEETS, REFERENCED FROM THE OVERALL FLOOR PLAN.
- C. **VERIFY DIMENSIONS** OF WORK IN PLACE AS NEW WORK IS LAID OUT. CORRECT WORK OUT OF COMPLIANCE WITH THE DESIGN DRAWINGS BEFORE SUBSEQUENT WORK IS INSTALLED. CONFIRM DISCREPANCIES WITH ARCHITECT.
- D. **DIMENSIONS AT PARTITION WALLS:** NEW INTERIOR BEARING AND NON-BEARING PARTITION WALL DIMENSIONS ARE GIVEN TO **FACE OF FRAMING** UNLESS NOTED OTHERWISE.
- E. **DIMENSIONS AT CRITICAL LOCATIONS:** DIMENSIONS AT CRITICAL LOCATIONS MAY BE GIVEN TO FINISHED FACE OF WALL OR ELEMENT AND NOTED AS "FINISHED" OR "HOLD." CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING CRITICAL DIMENSIONS ARE MET. ADJUST/INSTALL FRAMING AS REQUIRED BASED ON FIELD CONDITIONS.
- GENERAL SCOPE**  
F. ANY SITE WORK, LANDSCAPING, RETAINING, AND PAVING SCOPE IS INDICATED ON THE ARCHITECTURAL DRAWINGS FOR GENERAL REFERENCE PURPOSES ONLY. DETAILS ARE TO BE DEFINED AS "DESIGN-BUILD" BY THE APPROPRIATE CONTRACTOR.
- ASSEMBLIES**  
G. ALL NEW INTERIOR NON-RATED WALLS SHALL BE 2x4 WOOD STUD @ 16" O.C. MAX (DOUBLE TOP PLATE) WITH 1/2" GYP ON EXPOSED FACES UNLESS NOTED OTHERWISE. PROVIDE 2x6 FRAMING AT PLUMBING STACK WALLS AS REQUIRED.
- H. PROVIDE FIBERGLASS SOUND BATT INSULATION AT ALL BATHROOM AND BEDROOM WALLS.
- FRAMING**  
I. ALL FRAMING SHALL BE **WOOD STUD/JOIST** UNLESS NOTED OTHERWISE.
- J. PROVIDE BLOCKING AT CABINETRY, EQUIPMENT, AND ANY OTHER WALL OR CEILING-MOUNTED FIXTURES AS REQUIRED BY MANUFACTURER INSTALLATION INSTRUCTIONS.
- K. PROVIDE BLOCKING AS REQUIRED FOR DRYWALL FINISH INSTALLATION.
- FINISHES**  
L. REPAIR WALL, CEILING, AND FLOOR SUBSTRATES AFTER DEMOLITION OF EXISTING ATTACHED WORK AND FINISHES. PREPARE AS REQUIRED FOR NEW FINISHES. NEW FINISHES ADJACENT TO EXISTING SHALL BE FLUSH/FEATHERED OUT TO MATCH.
- M. FINAL HARDWARE, EQUIPMENT, FIXTURE, AND FINISH SELECTIONS TO BE PROVIDED BY OWNER. COORDINATE FRAMING, BLOCKING, AND FASTENING REQUIREMENTS WITH MANUFACTURER INSTALLATION INSTRUCTIONS.

HISTORIC BUILDING NOTE

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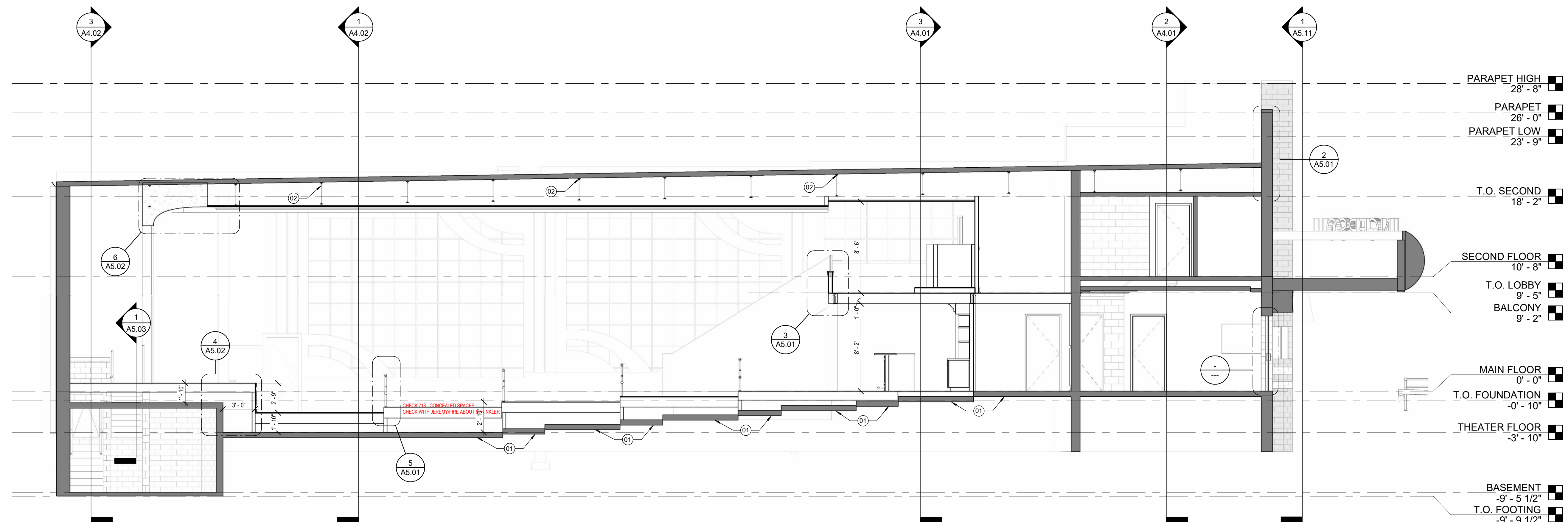
SOA PROJECT#	ITAR
ISSUE DATE:	2023.04.25

REVISIONS	
REV	DESCRIPTION
	DATE

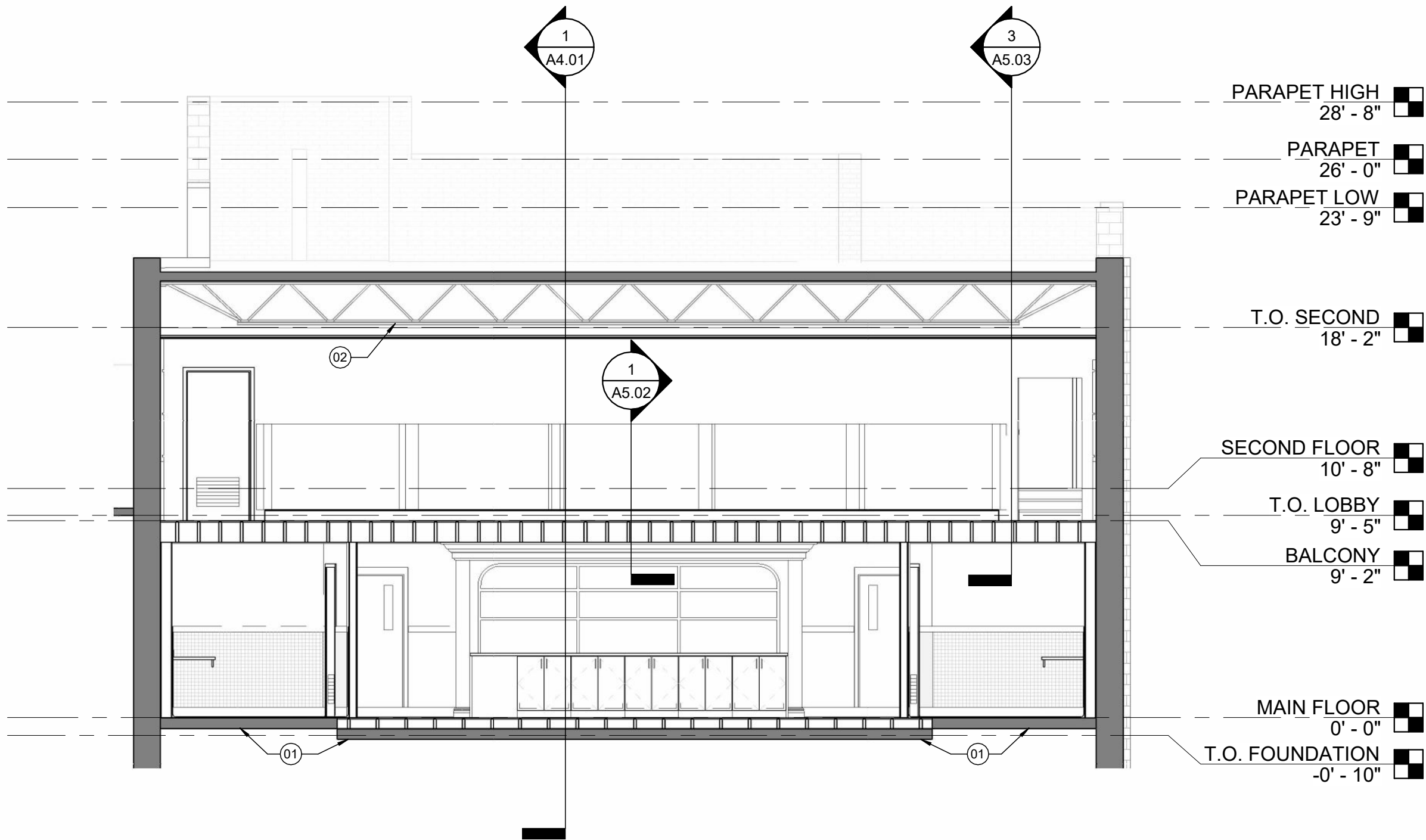


**1 | BUILDING SECTION - LONGITUDINAL**

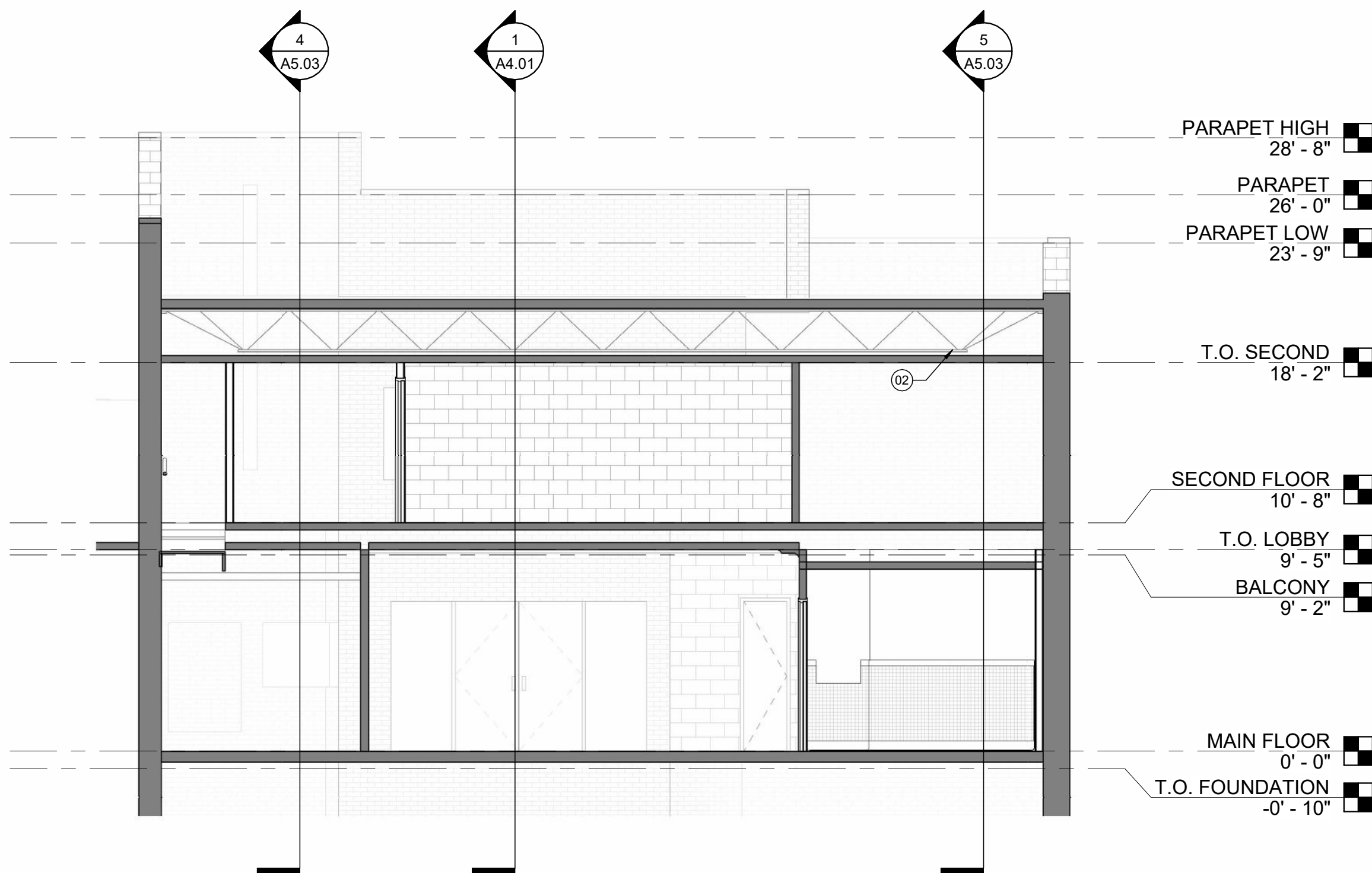
3/16" = 1'-0"

**3 | BUILDING SECTION @ BALCONY**

3/16" = 1'-0"

**2 | BUILDING SECTION @ LOBBY**

3/16" = 1'-0"

**KEYNOTE - BUILDING SECTIONS**

01 EXISTING CONCRETE RISER TO REMAIN  
02 EXISTING TRUSS TO REMAIN (TYP) - ROUTE DUCTWORK THROUGH TRUSS (REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION)

**SEQUEL ARCHITECTURE**  
3106 Ingersoll Ave, Des Moines, IA 50312  
info@sequelarchitecture.com  
515.710.3484



**HISTORIC REHABILITATION**  
3711 INGERSOLL AVENUE  
DES MOINES, IA 50312  
**RELEASED FOR INTERNAL REVIEW**

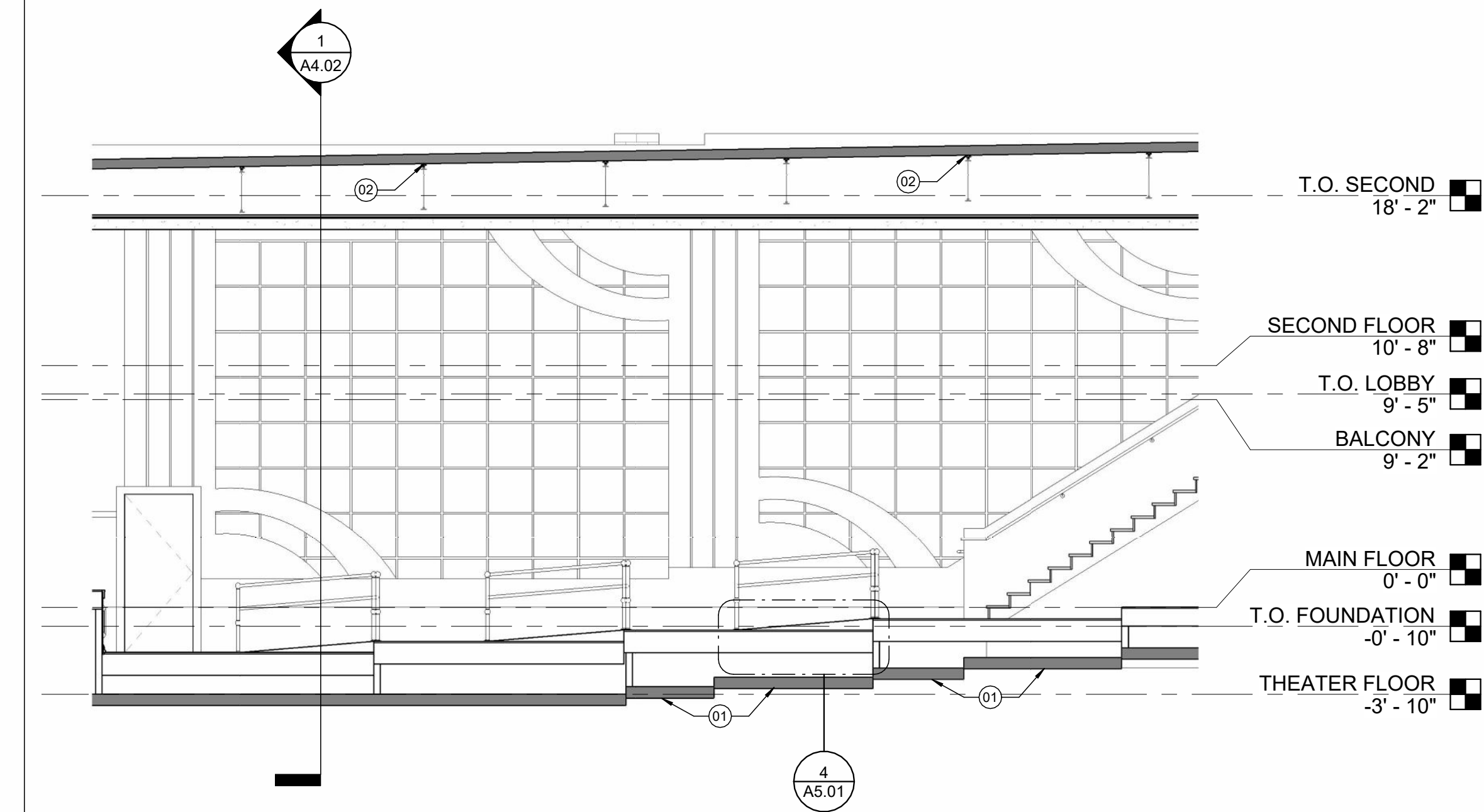
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ISSUE DATE: **2023.04.25**

**REVISIONS**  
REV DESCRIPTION DATE

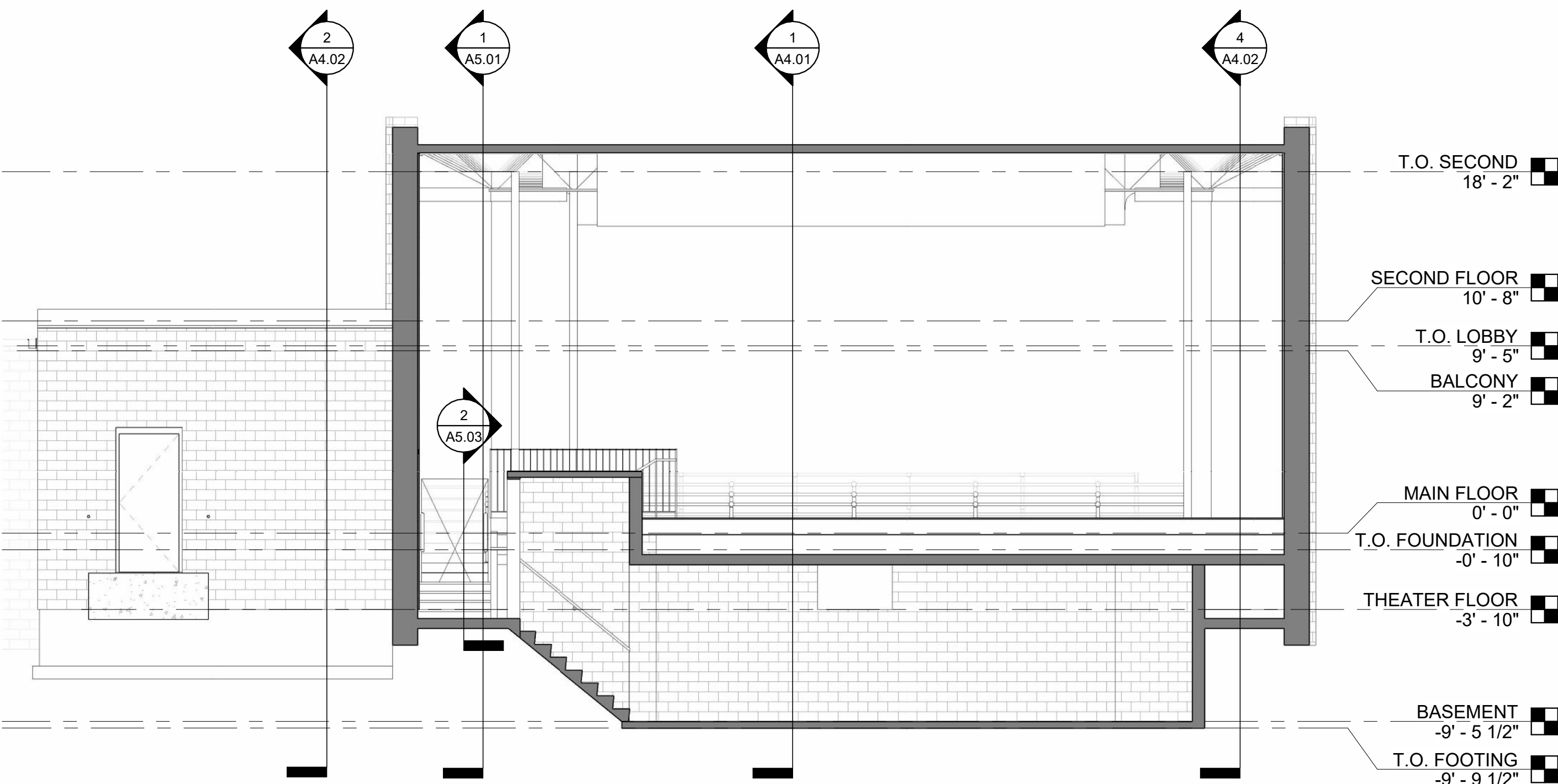
**BUILDING SECTIONS**

**A4.01**

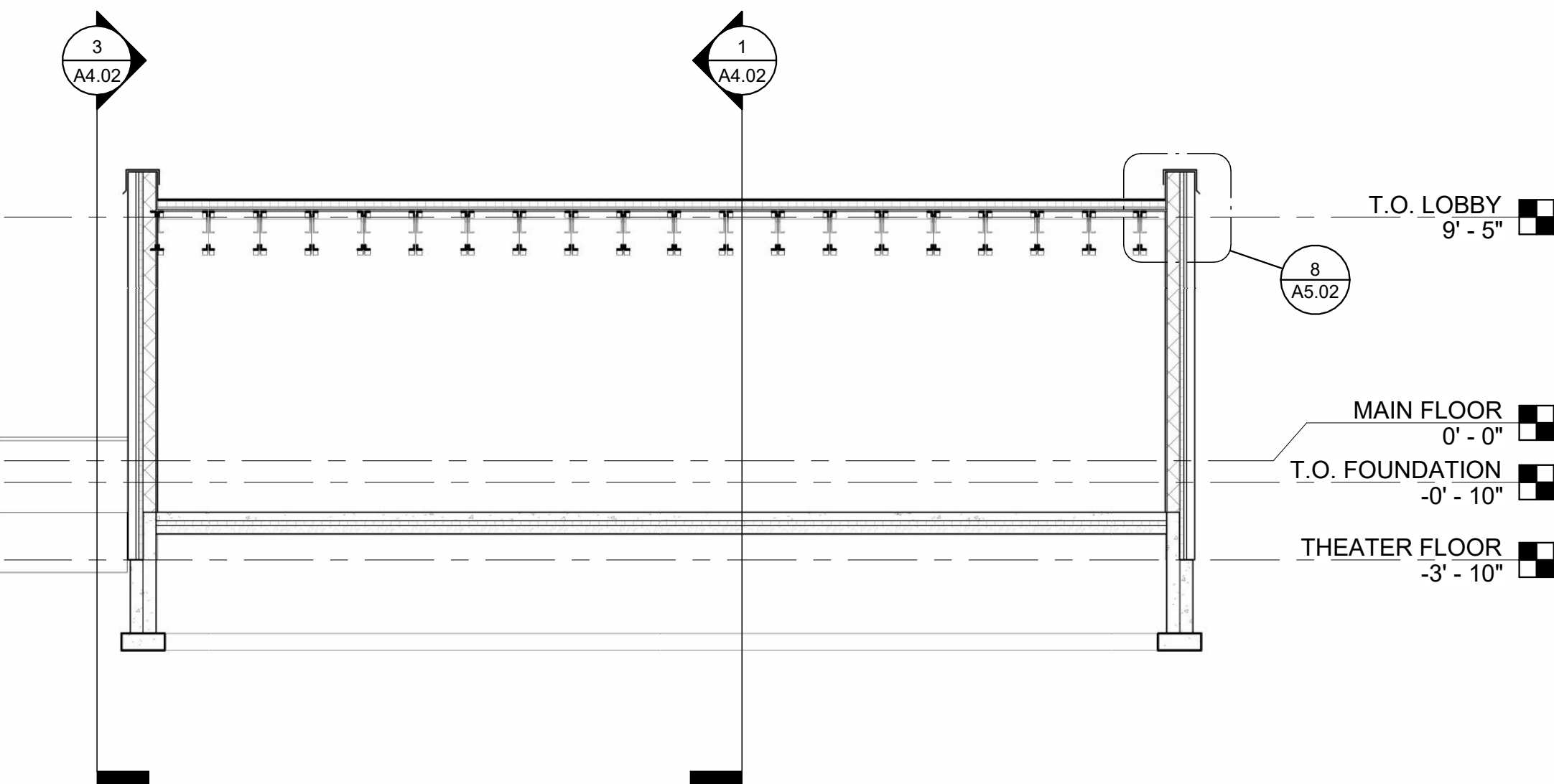




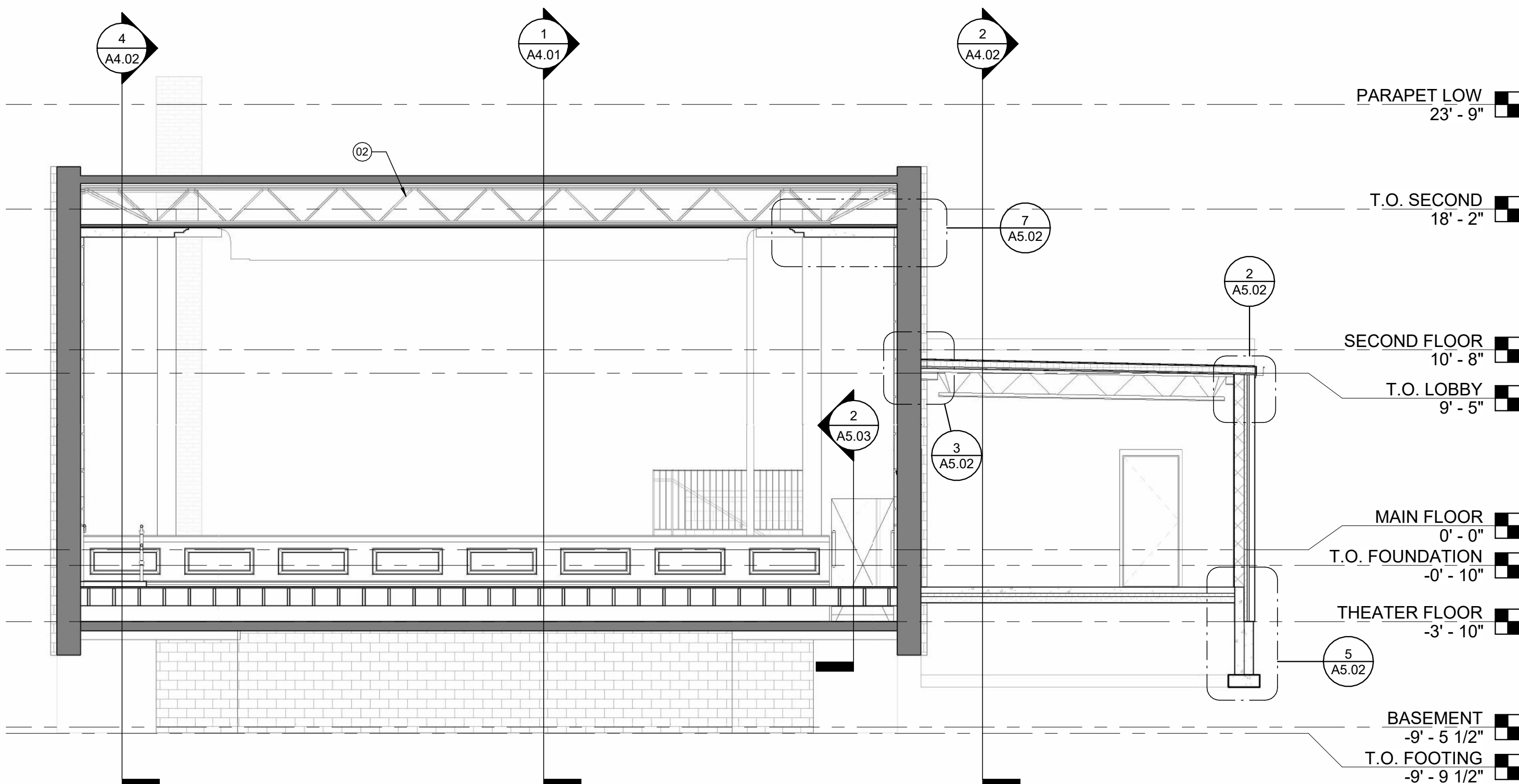
4 | BUILDING SECTION @ RAMP  
3/16" = 1'-0"



3 | BUILDING SECTION @ BASEMENT  
3/16" = 1'-0"



2 | BUILDING SECTION - LONGITUDINAL @ KITCHEN  
3/16" = 1'-0"

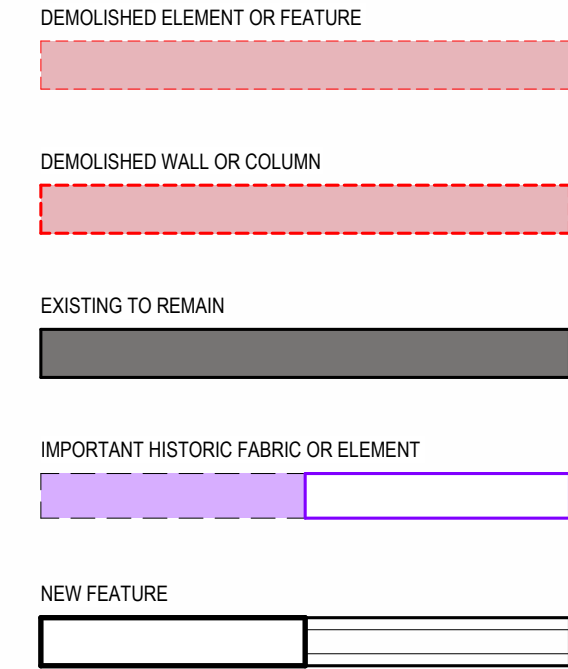


1 | BUILDING SECTION @ AUDITORIUM  
3/16" = 1'-0"

KEYNOTE - BUILDING SECTIONS

01 EXISTING CONCRETE RISER TO REMAIN  
02 EXISTING TRUSS TO REMAIN (TYP) - ROUTE DUCTWORK THROUGH TRUSS  
(REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION)

ARCHITECTURAL PHASING LEGEND



HISTORIC BUILDING NOTE

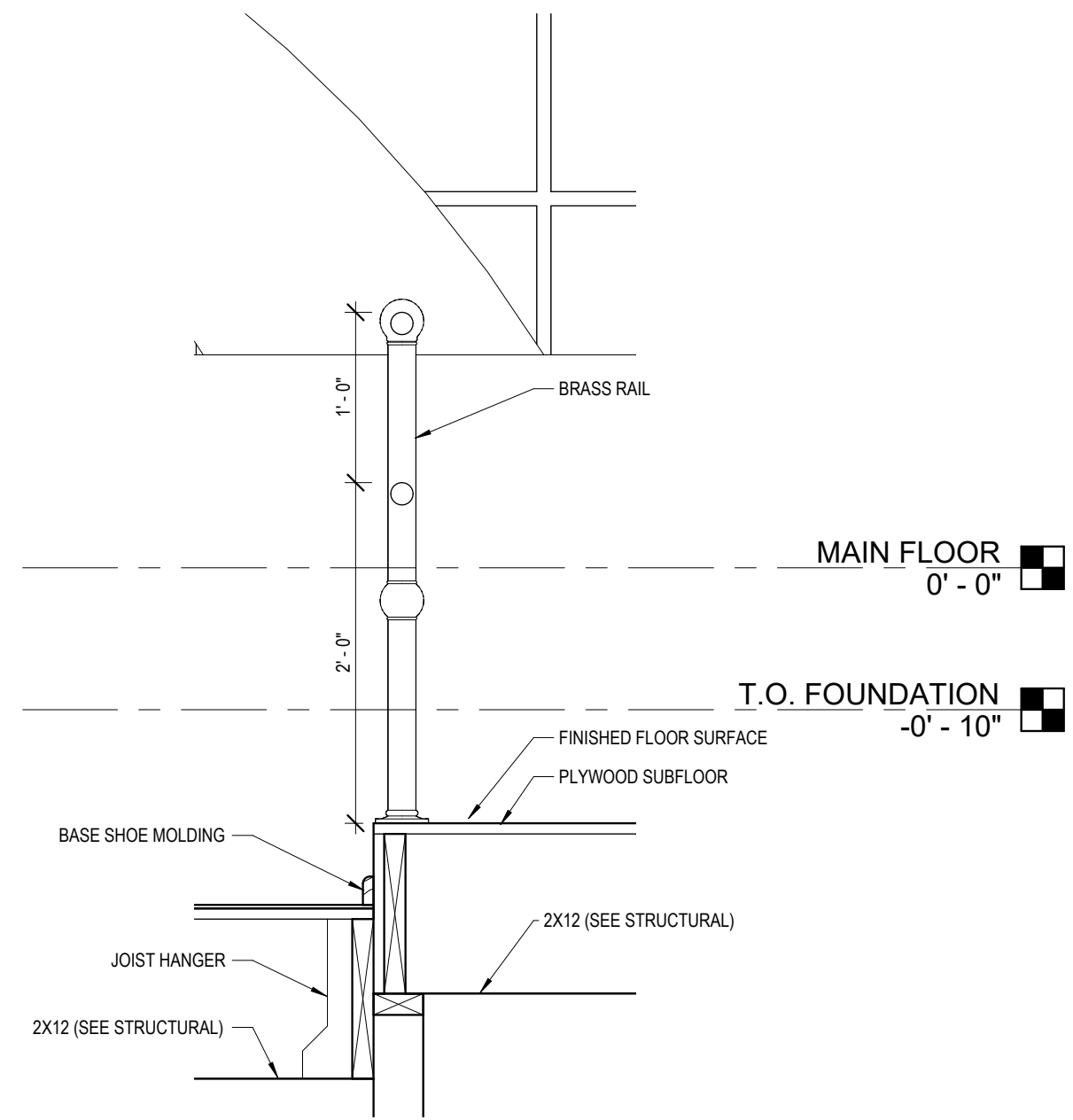
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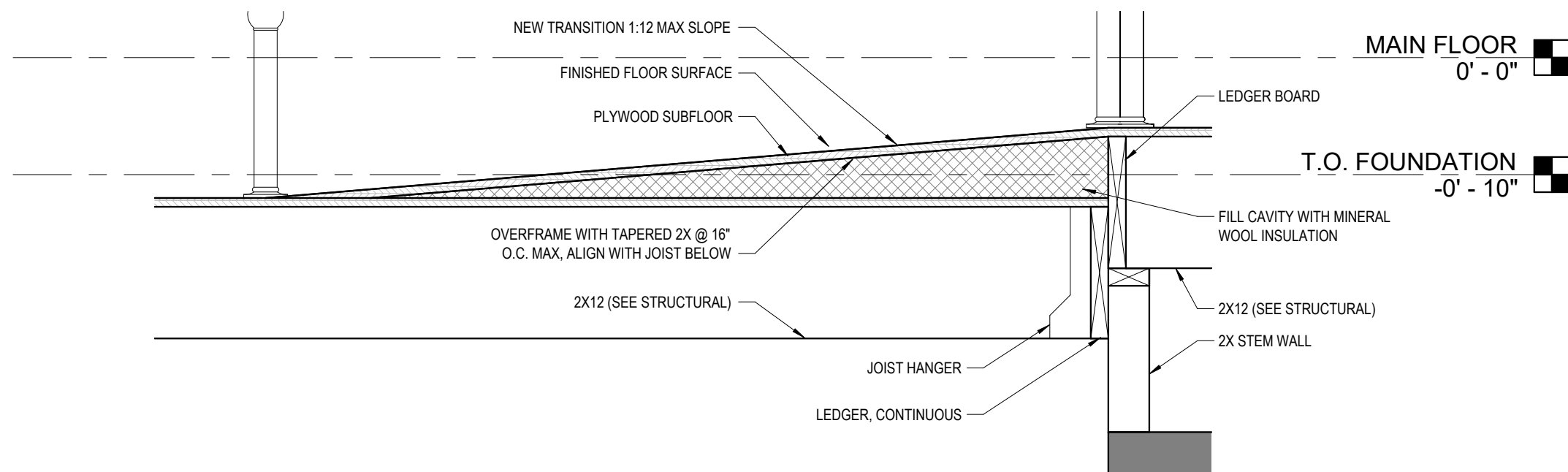




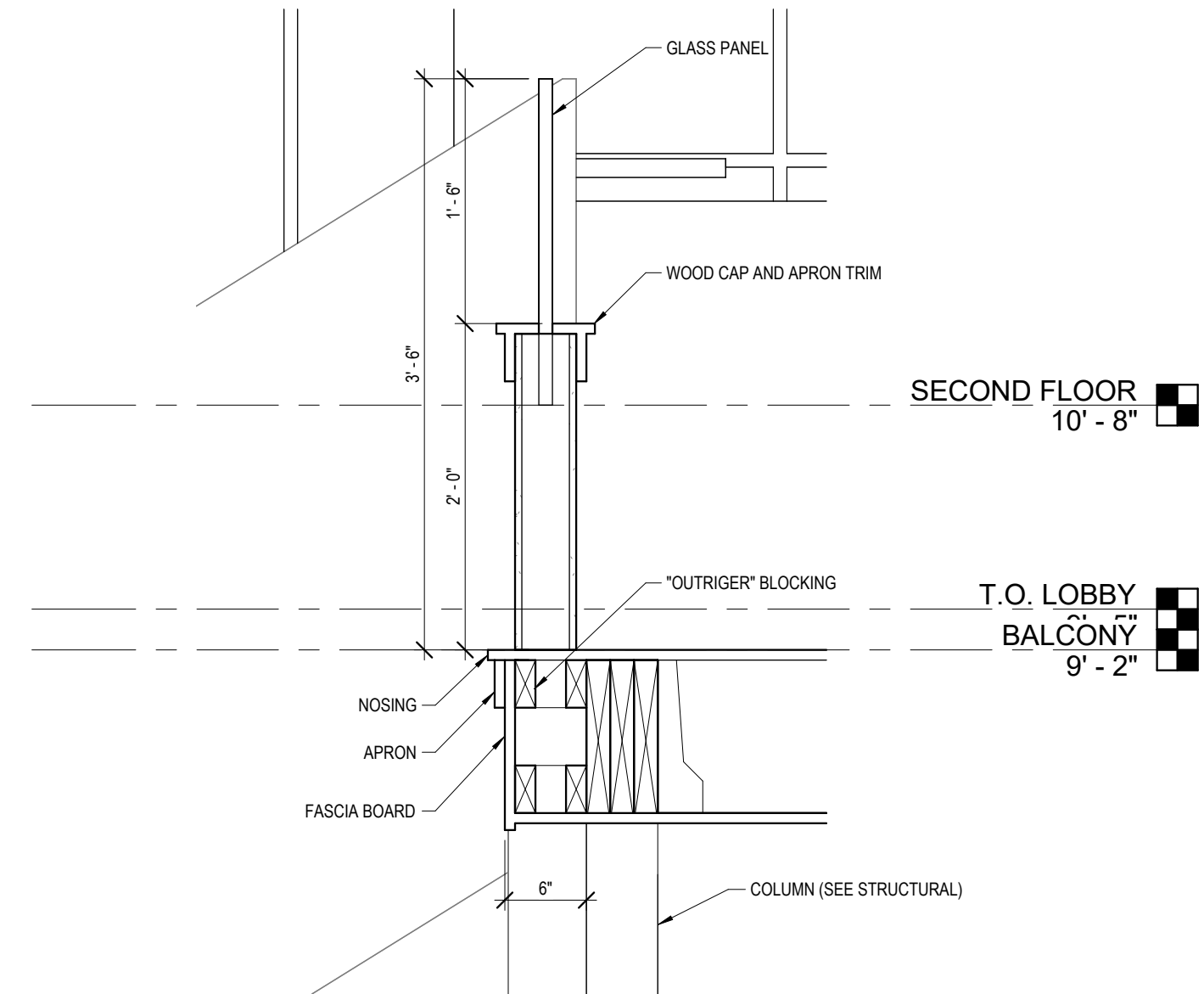
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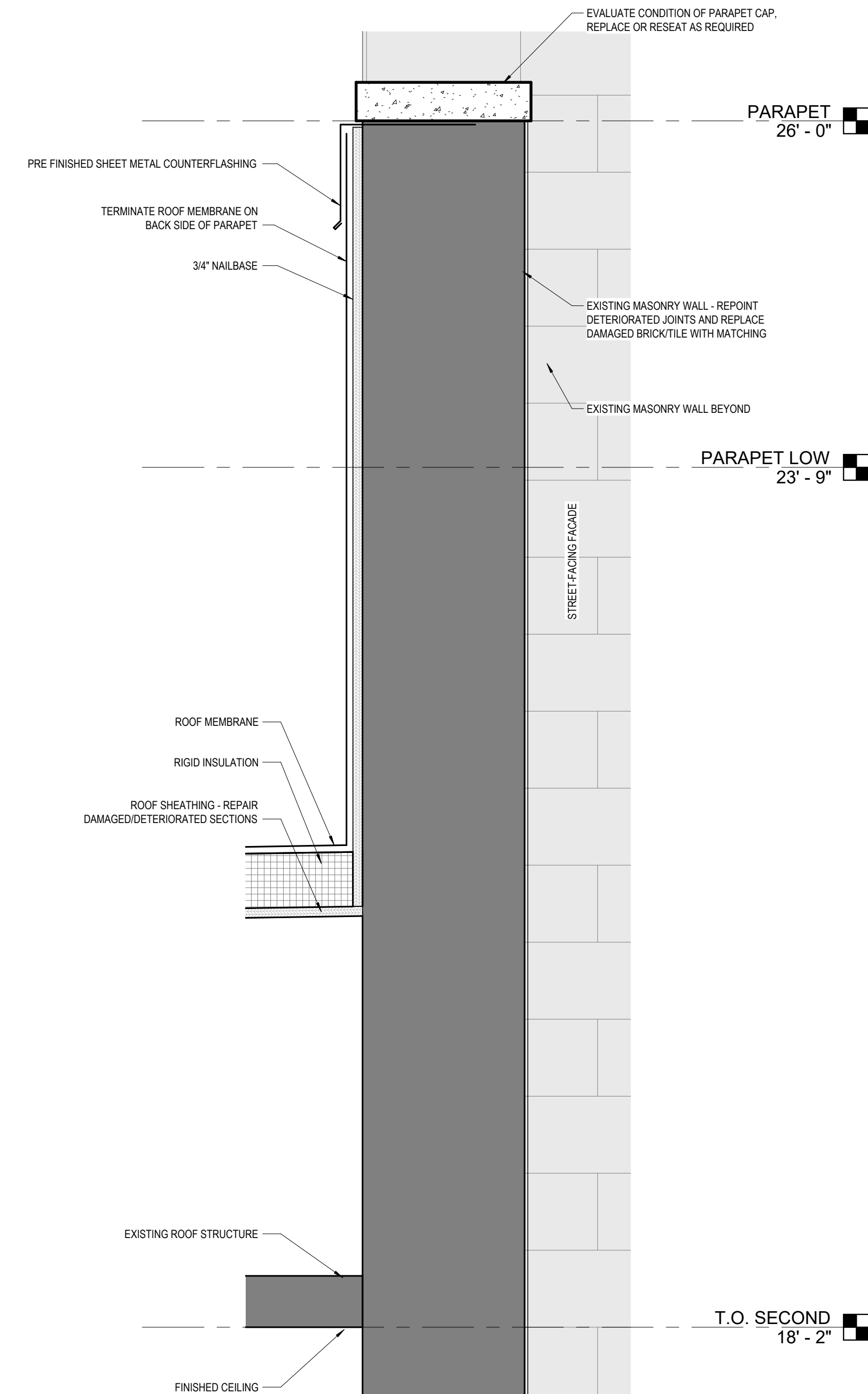
5 | TERRACE STEP/ RAIL DETAIL  
1" = 1'-0"



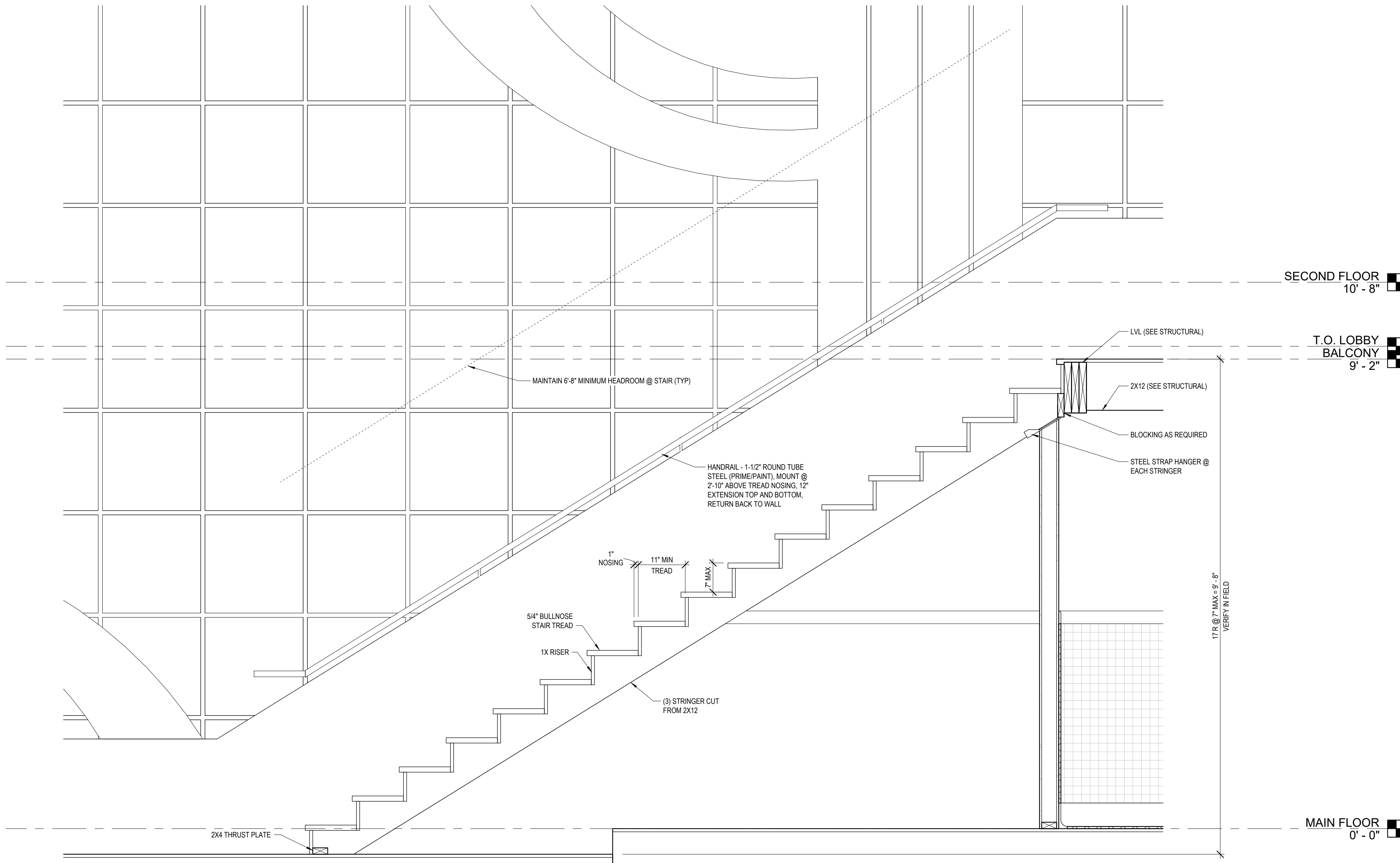
4 | RAMP @ AUDITORIUM DETAIL  
1" = 1'-0"



3 | GUARDRAIL @ BALCONY DETAIL  
1" = 1'-0"



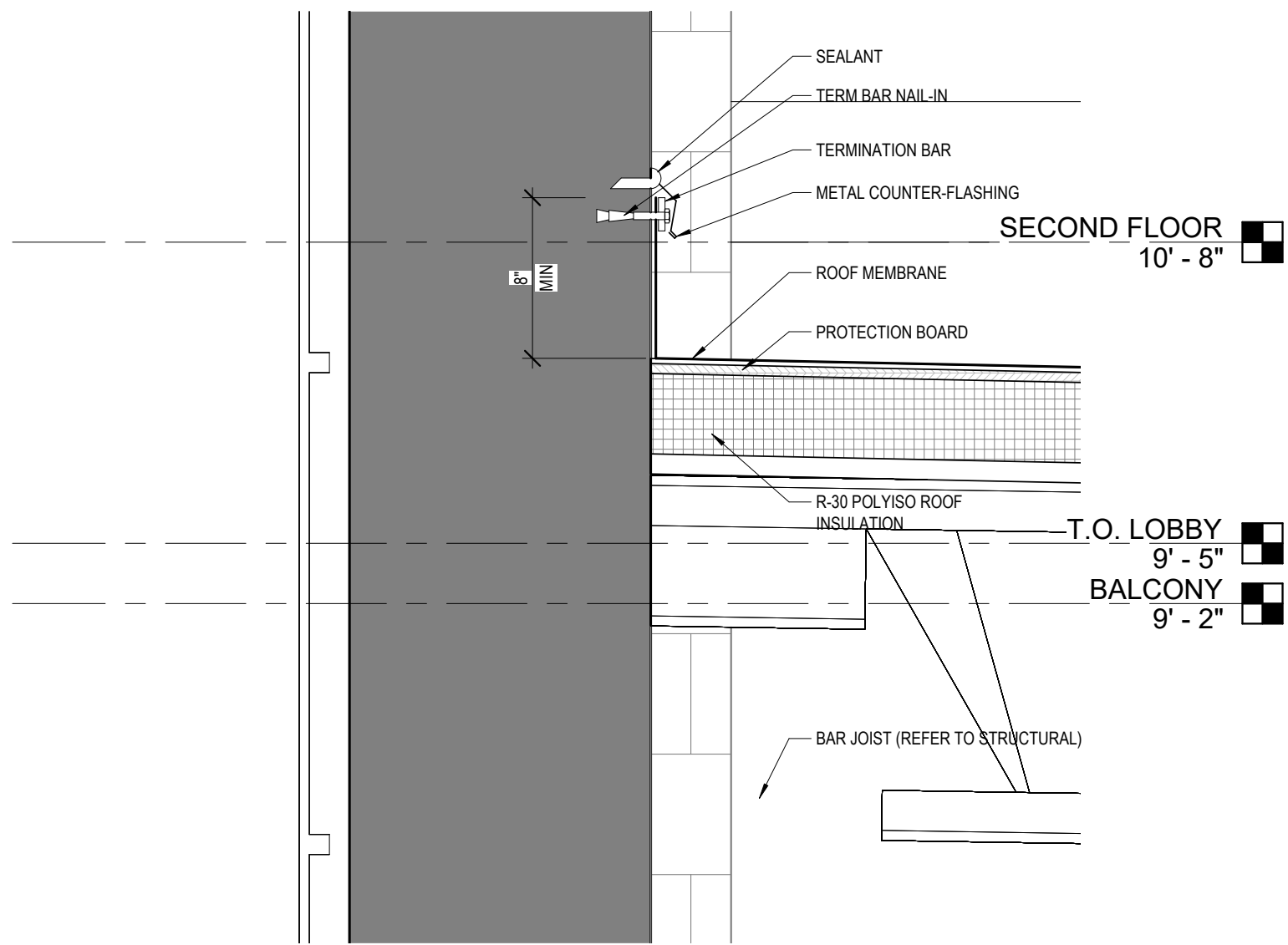
2 | PARAPET WRAP DETAIL  
1 1/2" = 1'-0"



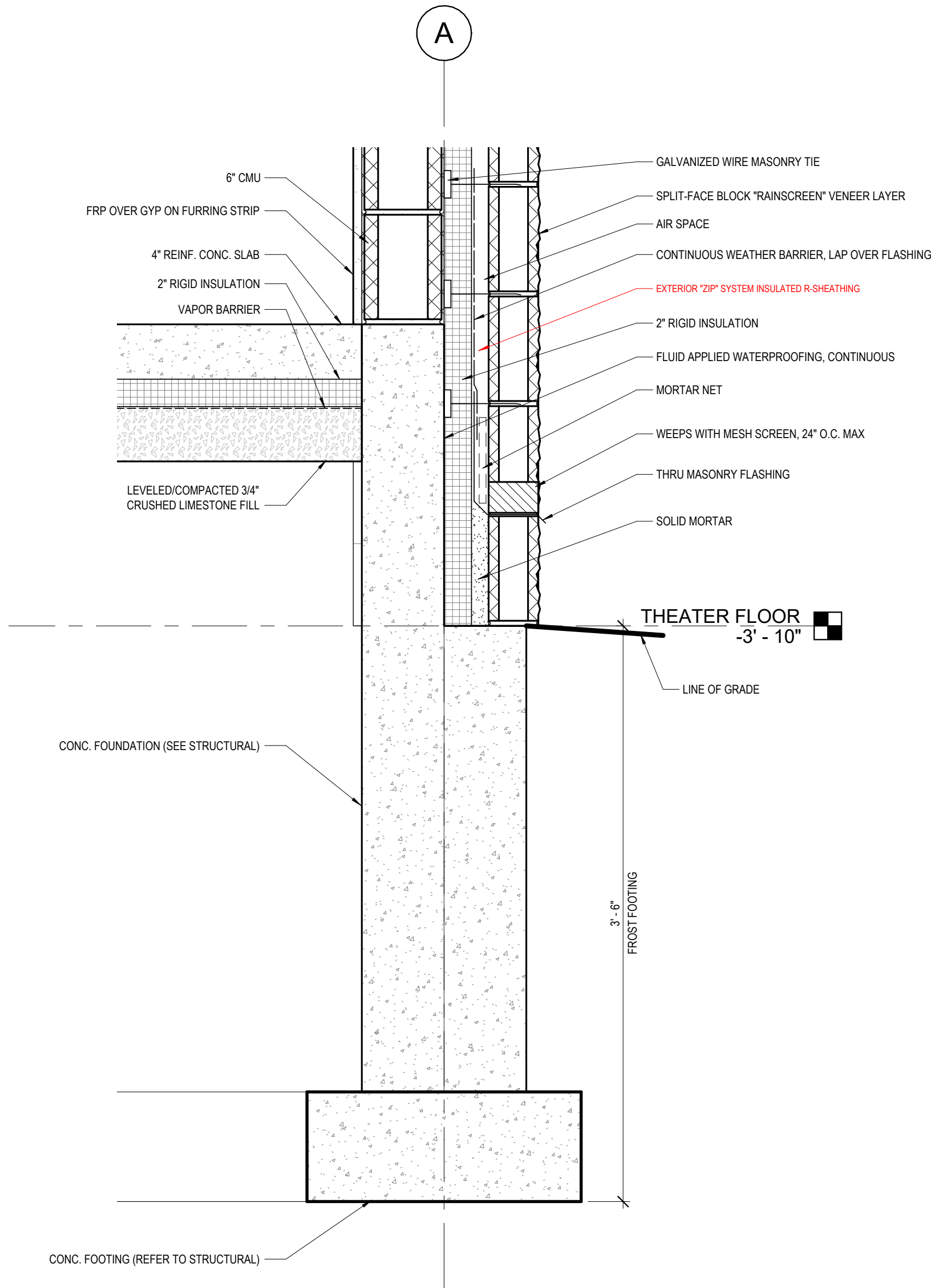
1 | BALCONY STAIRS DETAIL SECTION  
3/4" = 1'-0"



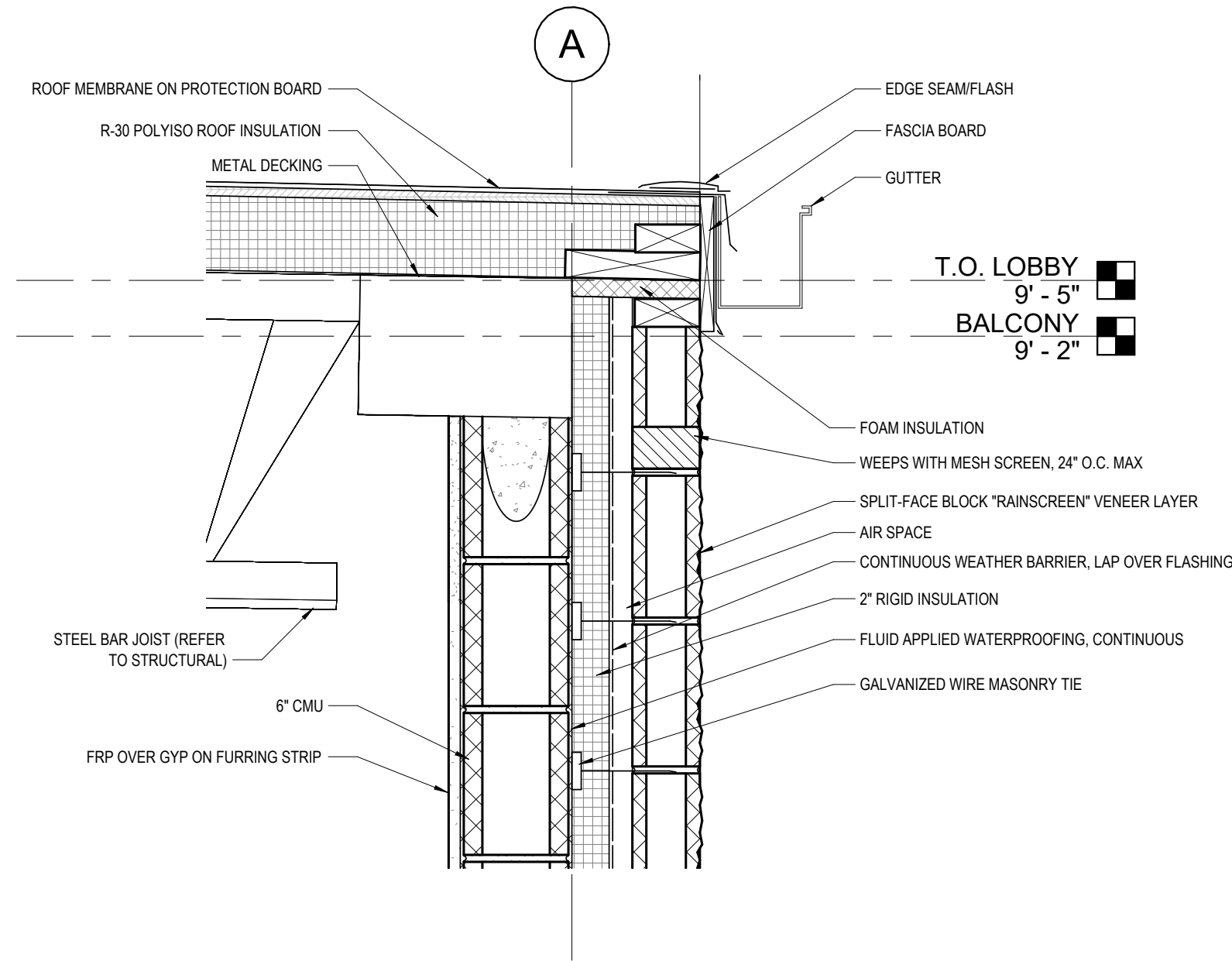
3 | ADDITION ROOF-EXISTING CONNECTION  
1 1/2" = 1'-0"



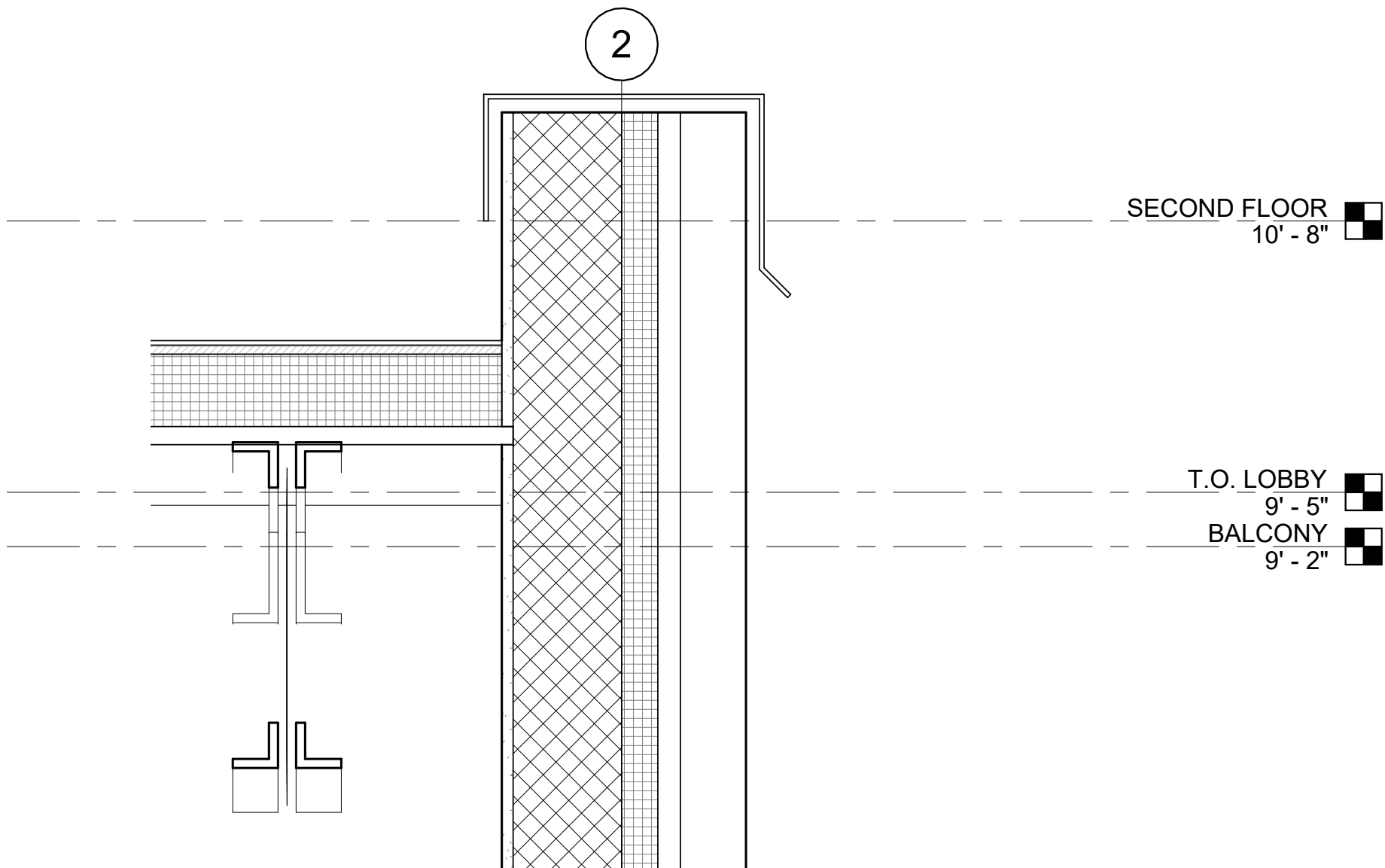
5 | KITCHEN WALL FRAMING DETAIL  
1 1/2" = 1'-0"



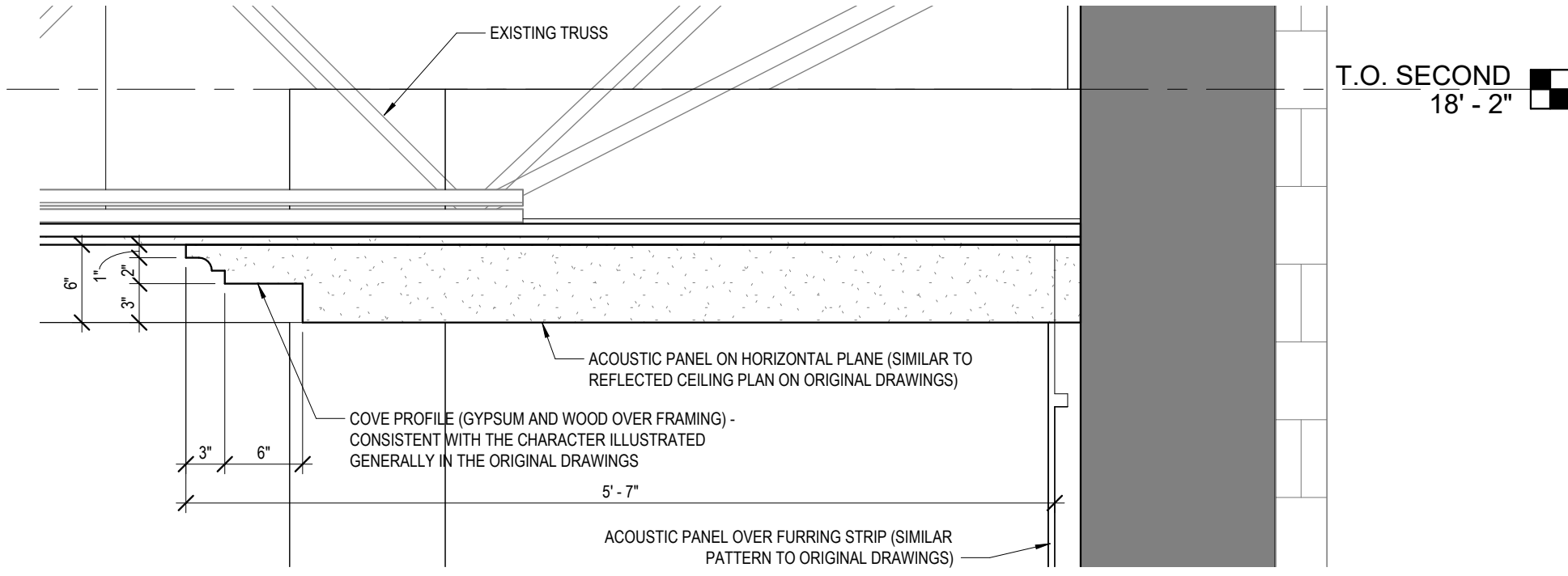
2 | ADDITION ROOF-WALL CONNECTION DETAIL  
1 1/2" = 1'-0"



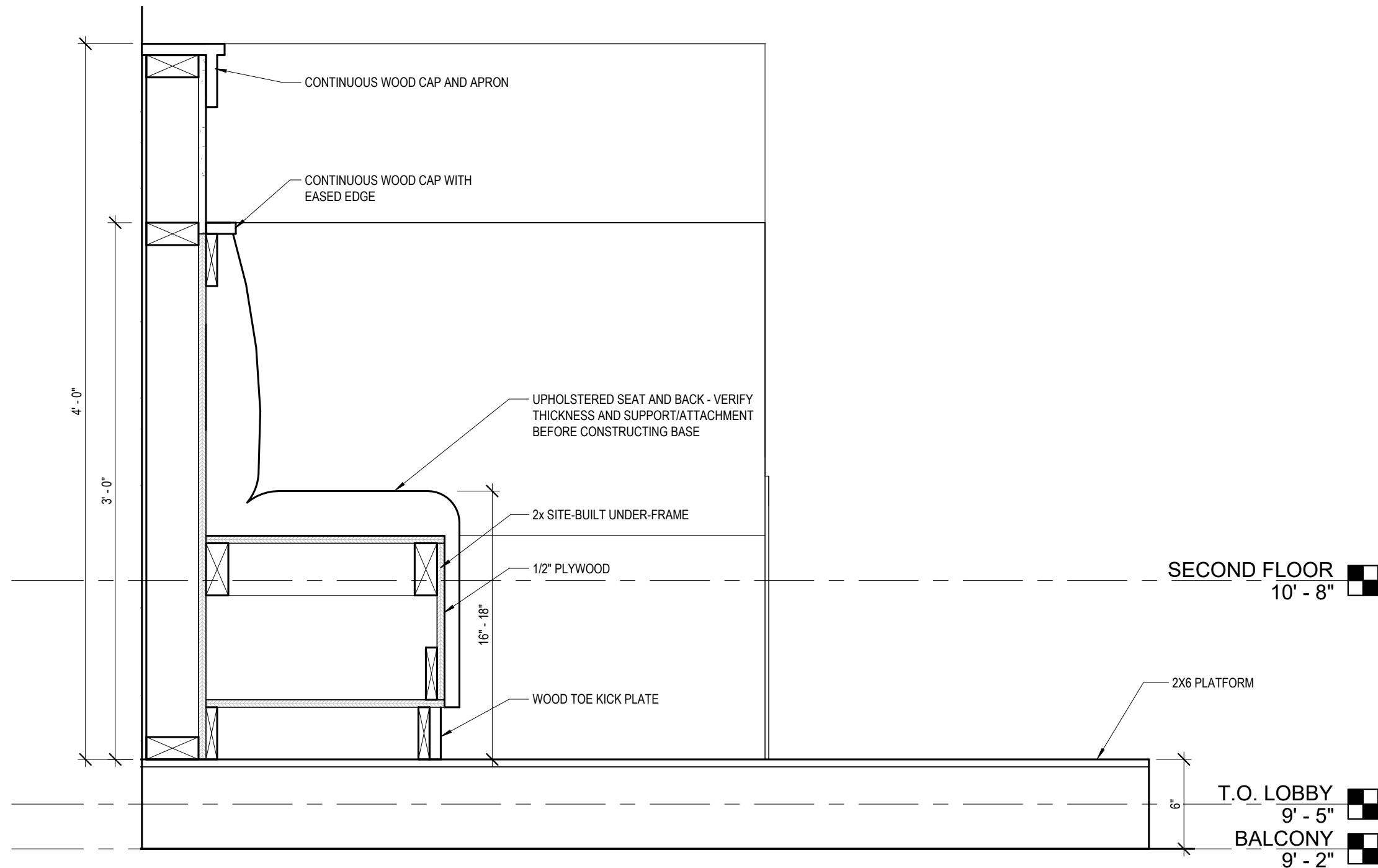
8 | ADDITION PARAPET WRAP DETAIL  
1 1/2" = 1'-0"



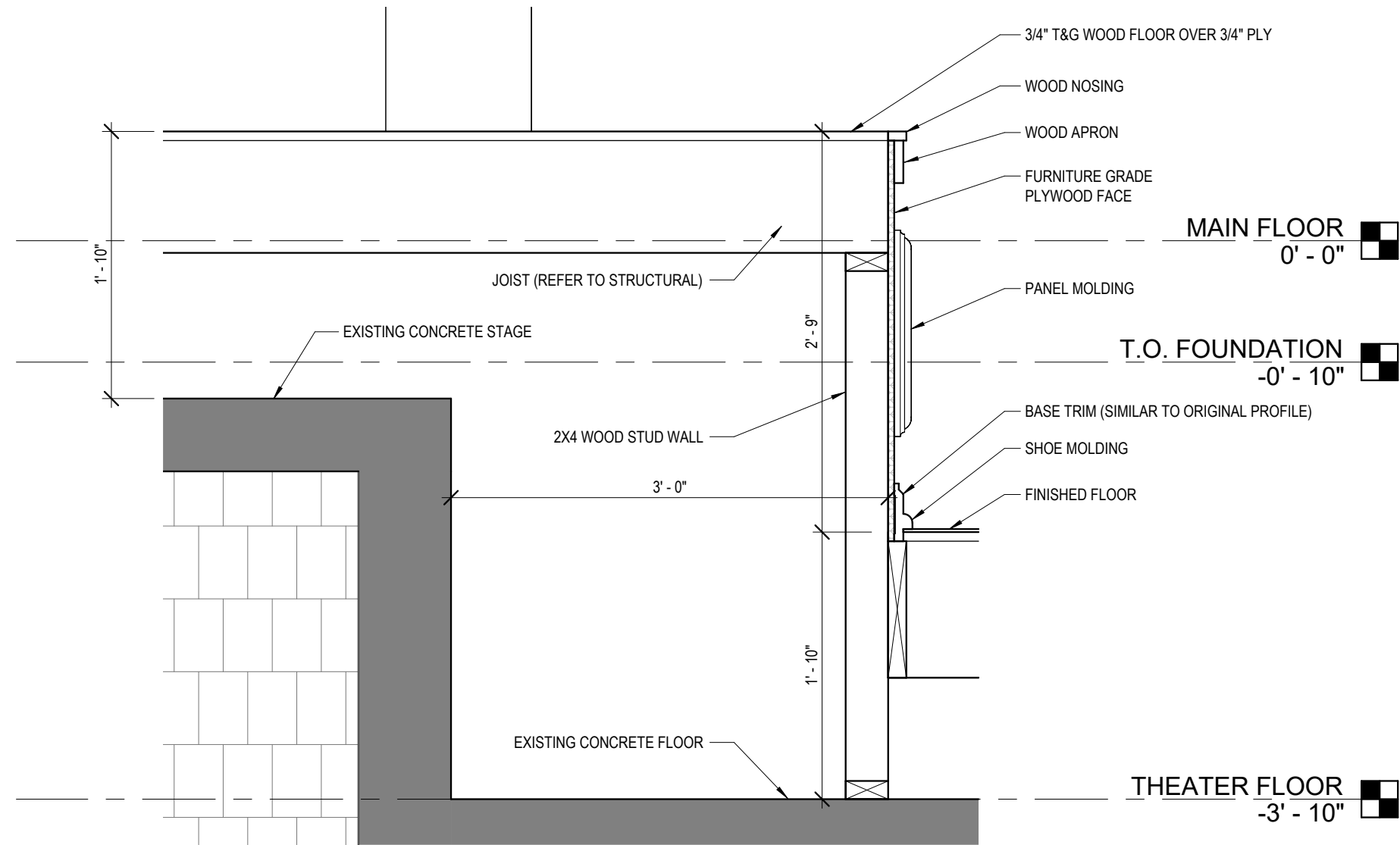
7 | COVE DETAIL  
1" = 1'-0"



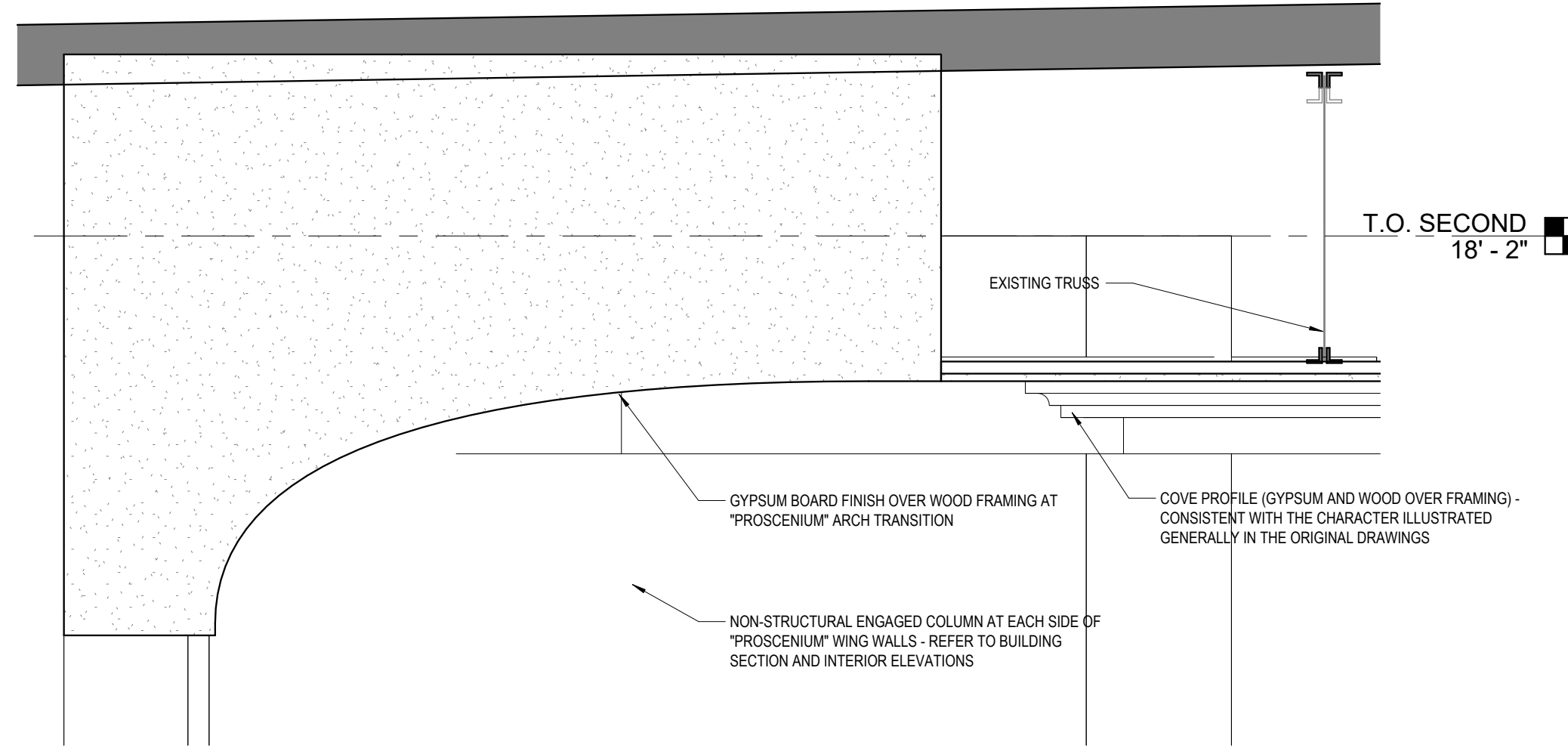
1 | BOOTH DETAIL  
1 1/2" = 1'-0"



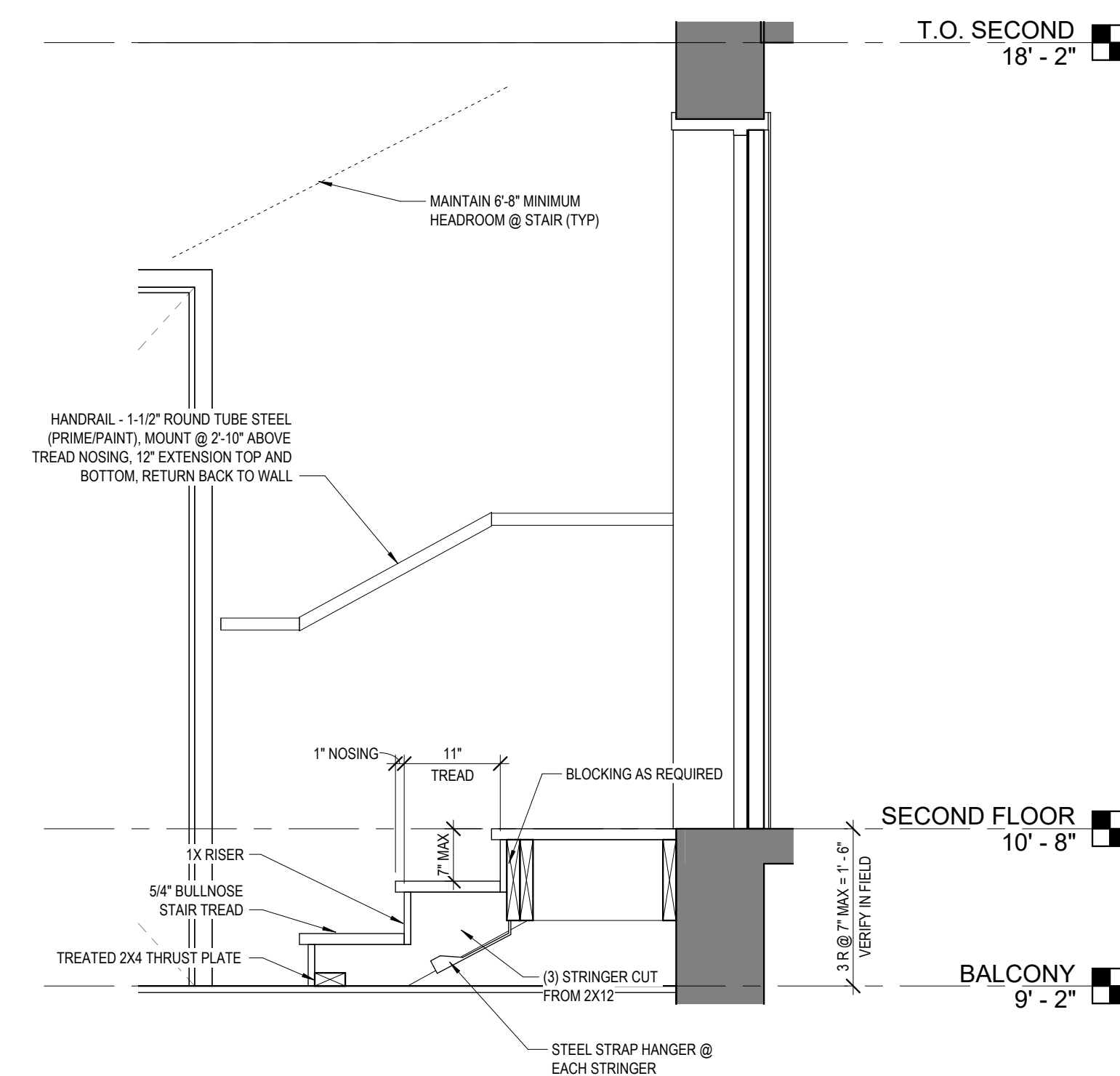
4 | STAGE EDGE DETAIL  
1" = 1'-0"



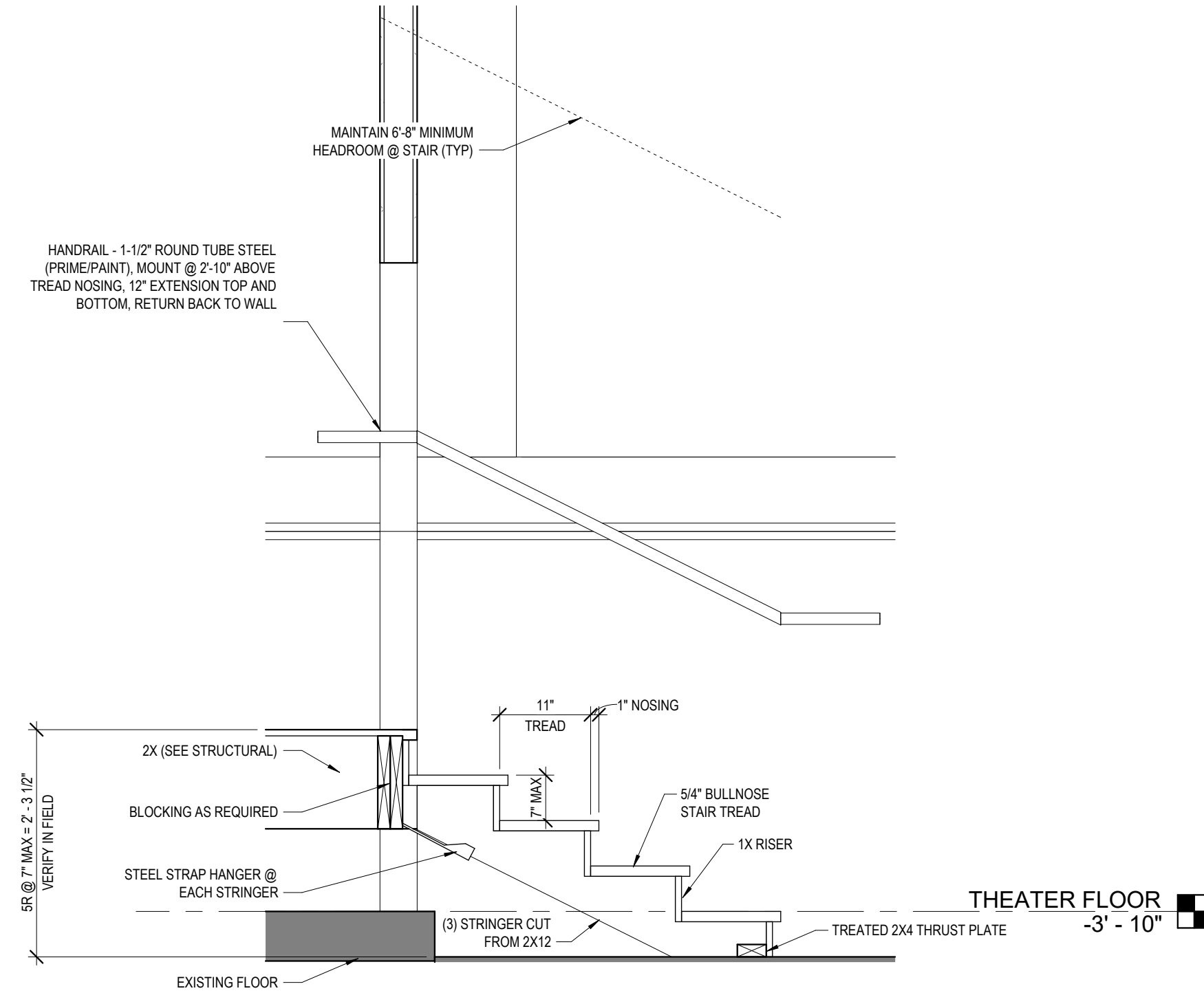
6 | COVE AND STAGE SOFFIT DETAIL  
1" = 1'-0"



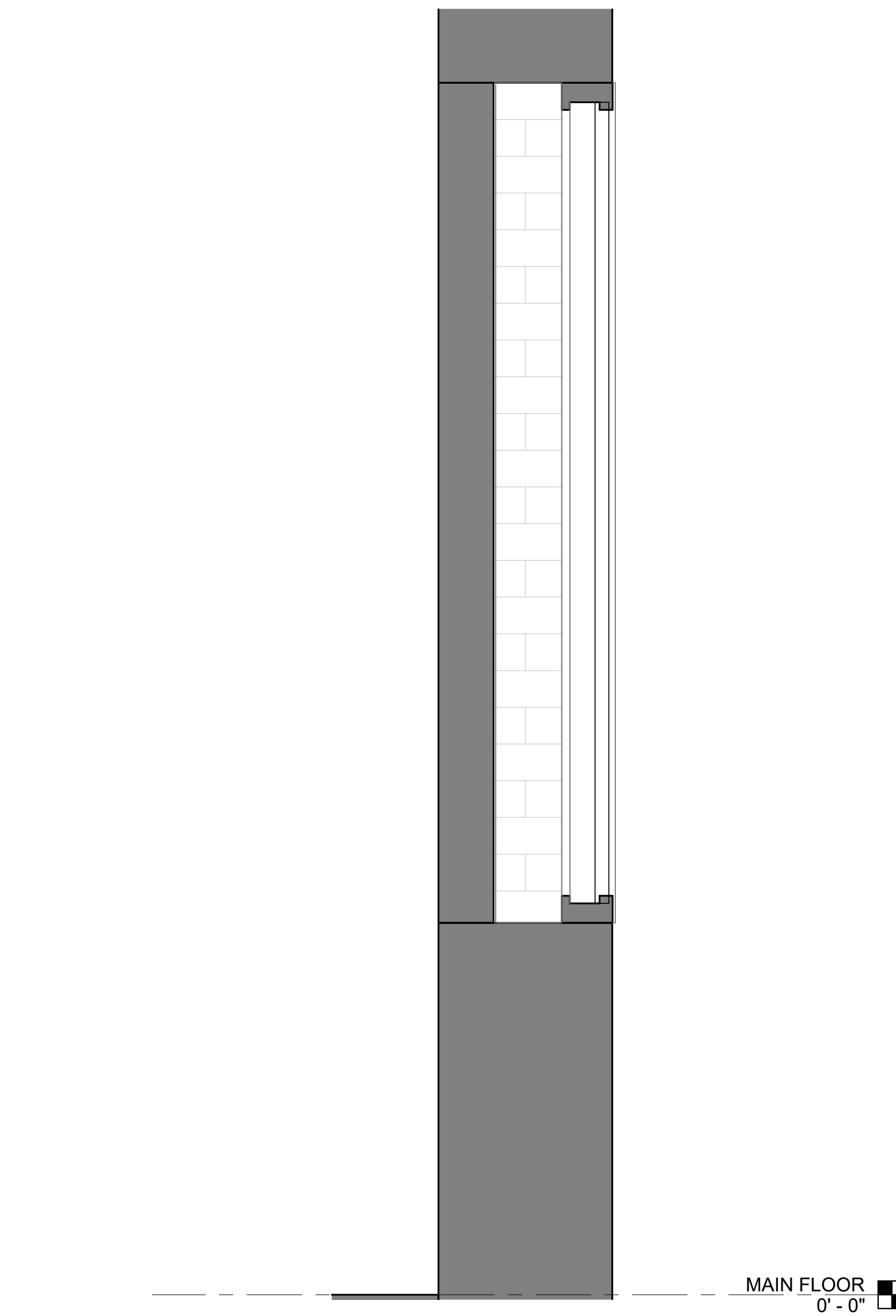




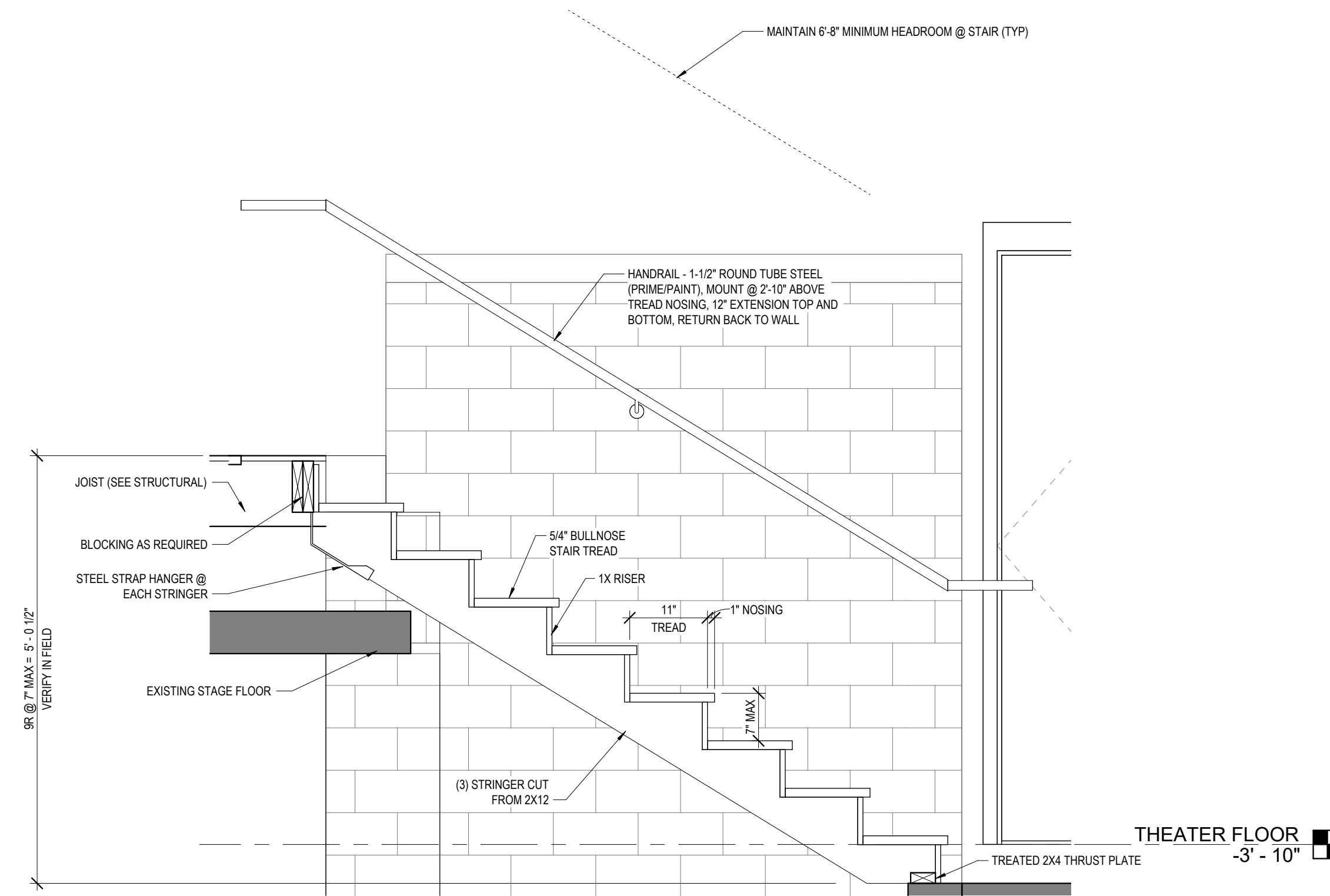
**3** | **OFFICE STAIR DETAIL SECTION**  
3/4" = 1'-0"



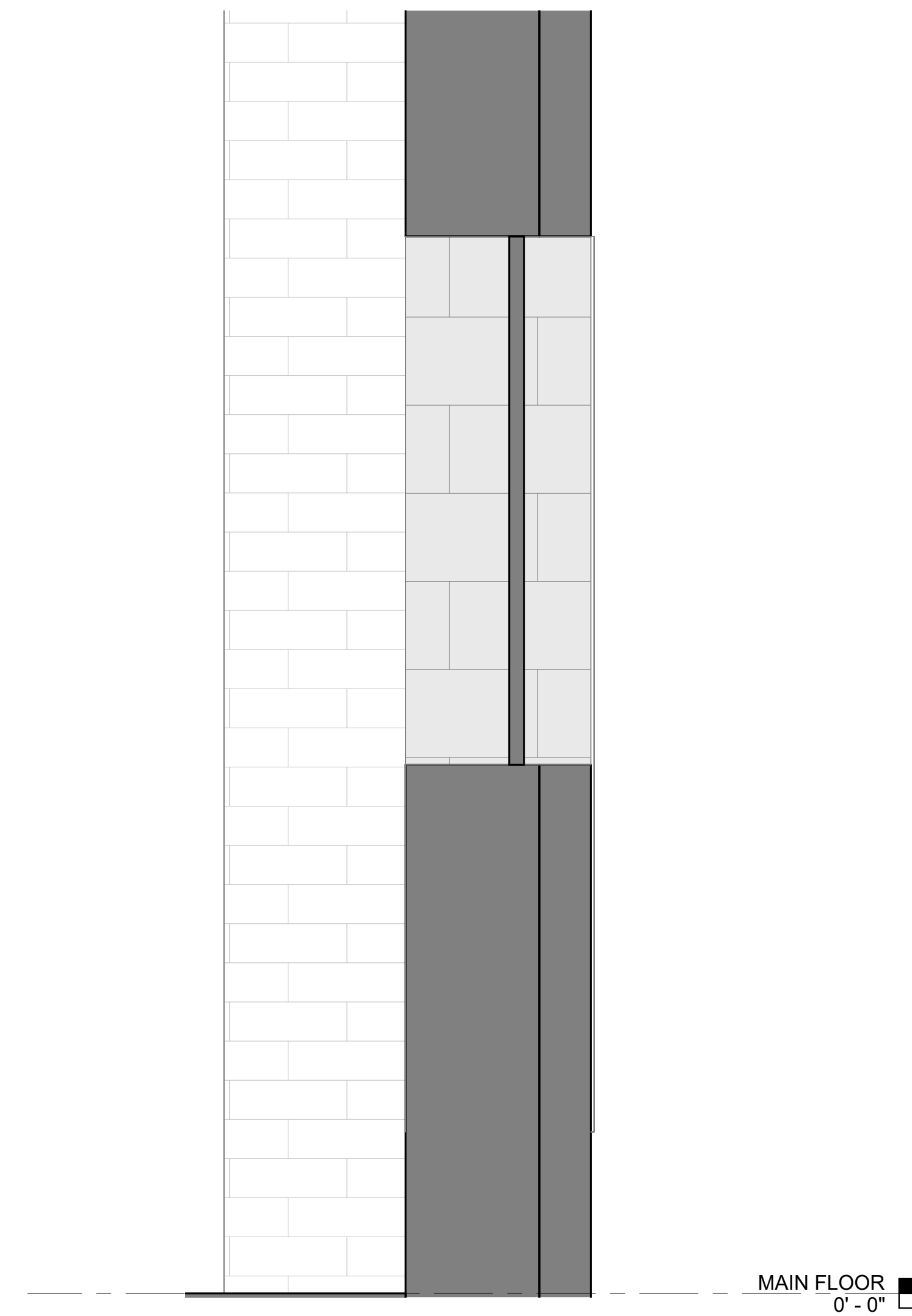
## 2 | BACK STAIR DETAIL SECTION



**5 | POSTER DETAIL**  
1 1/2" = 1'-0"



**1 | STAGE STAIR DETAIL SECTION**  
3/4" = 1'-0"

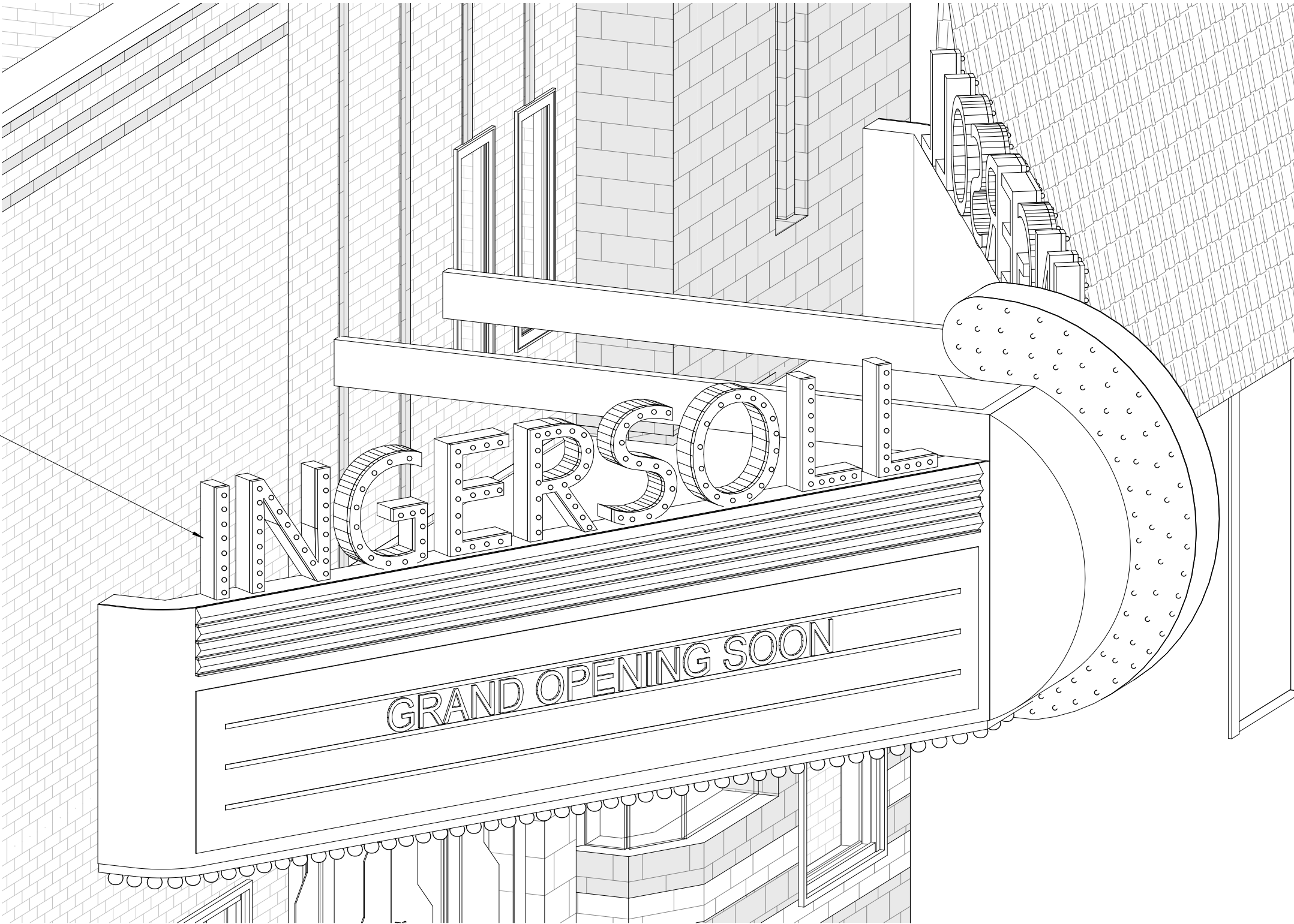
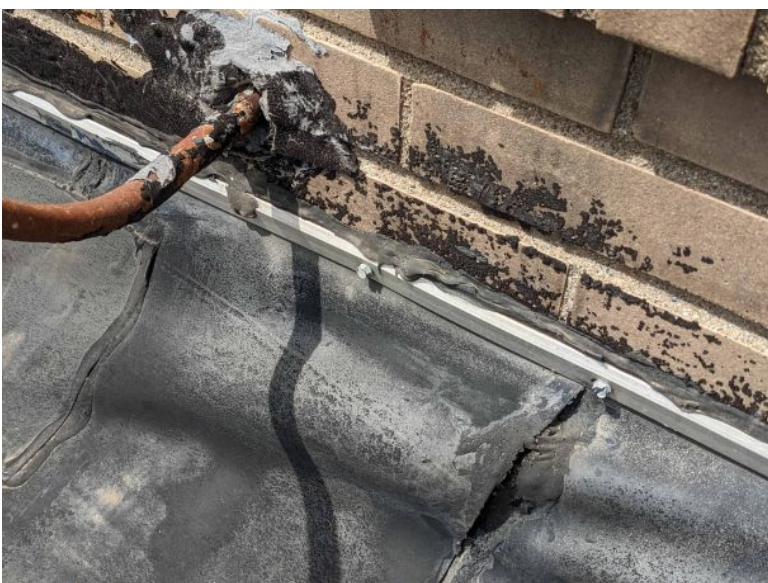


**4 | TICKET WINDOW DETAIL**  
1 1/2" = 1'-0"

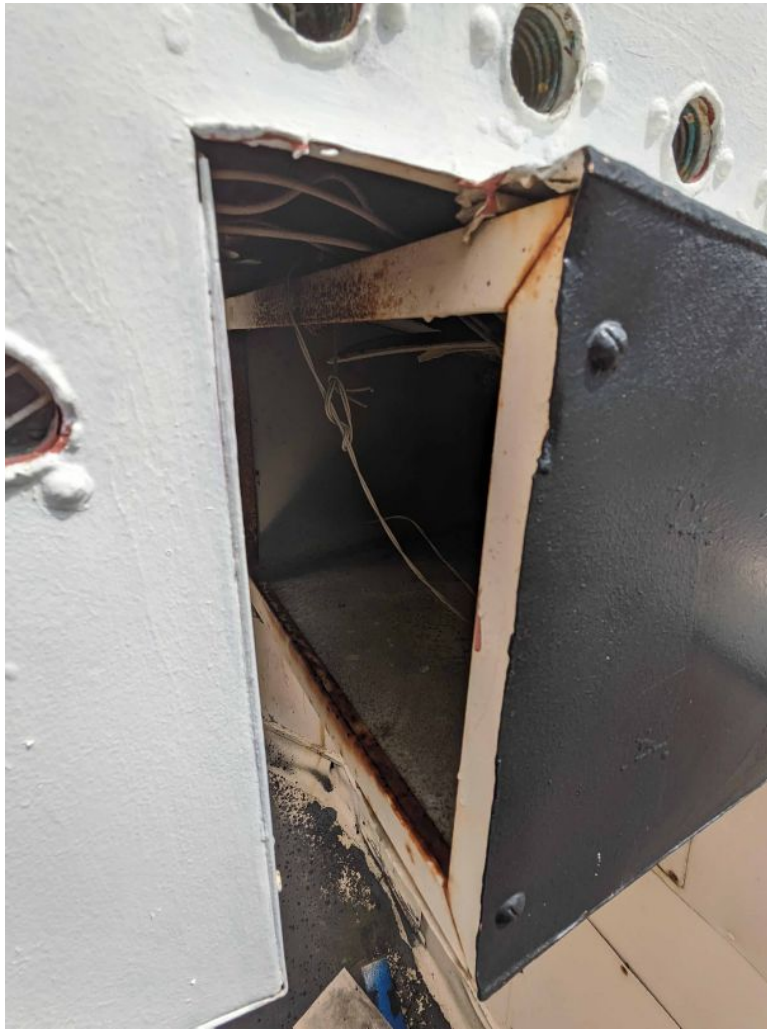




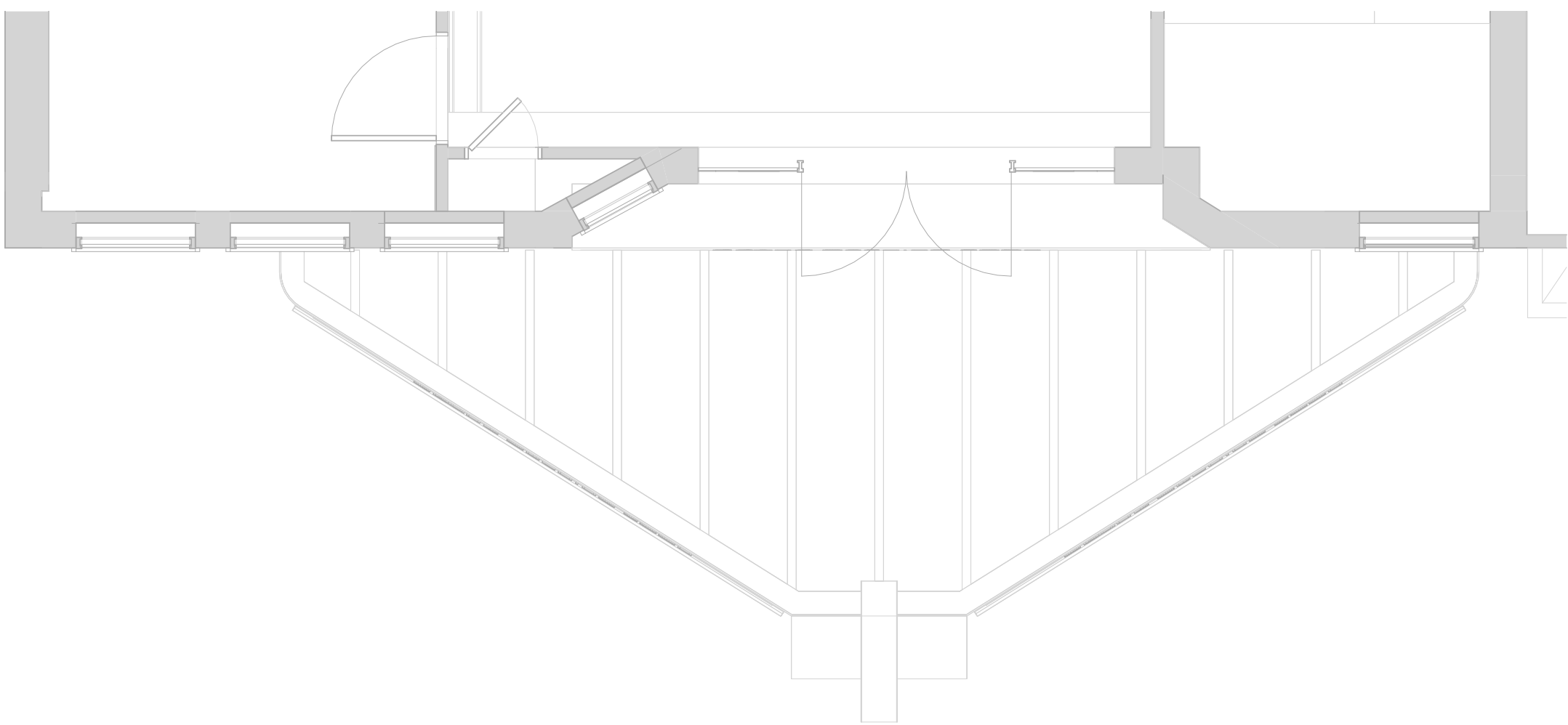
EXAMPLE TEXT



EXAMPLE TEXT

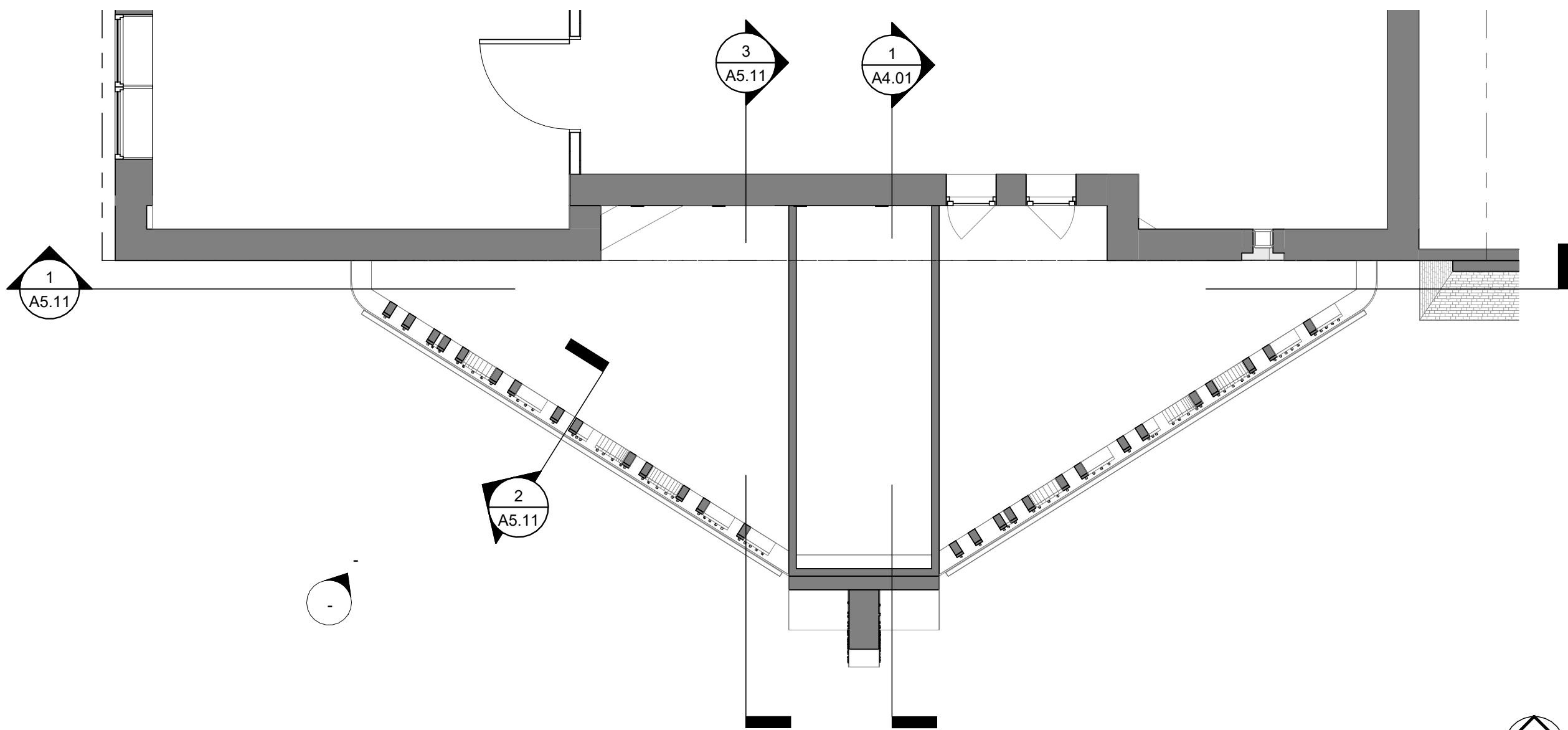


3 | 3D VIEW - MARQUEE



2 | ENLARGED RCP - MARQUEE

1/4" = 1'-0"



1 | ENLARGED PLAN - MARQUEE

1/4" = 1'-0"

ARCHITECTURAL PHASING LEGEND

- DEMOLISHED ELEMENT OR FEATURE
- DEMOLISHED WALL OR COLUMN
- EXISTING TO REMAIN
- IMPORTANT HISTORIC FABRIC OR ELEMENT
- NEW FEATURE

GENERAL NOTES - PLAN

- GENERAL**
- A. PROVIDE TEMPORARY SUPPORT AND/OR SHORING AS REQUIRED AT ALL EXISTING WORK TO REMAIN DURING SELECTIVE DEMOLITION AND CONSTRUCTION. SEQUENCE WORK SO AS TO MAINTAIN ADEQUATE SUPPORT TO REMAINING STRUCTURE AT ALL TIMES.
- DRAWING CONVENTIONS**
- B. UNIQUE CONDITIONS/SPACES ARE DESCRIBED ON EXPANDED PLAN SHEETS, REFERENCED FROM THE OVERALL FLOOR PLAN.
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- D. **DIMENSIONS AT PARTITION WALLS:** NEW INTERIOR BEARING AND NON-BEARING PARTITION WALL DIMENSIONS ARE GIVEN TO **FACE OF FRAMING** UNLESS NOTED OTHERWISE.
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- F. ANY SITE WORK, LANDSCAPING, RETAINING, AND PAVING SCOPE IS INDICATED ON THE ARCHITECTURAL DRAWINGS FOR GENERAL REFERENCE PURPOSES ONLY. DETAILS ARE TO BE DEFINED AS "DESIGN-BUILD" BY THE APPROPRIATE CONTRACTOR.
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- H. PROVIDE FIBERGLASS SOUND BATT INSULATION AT ALL BATHROOM AND BEDROOM WALLS.
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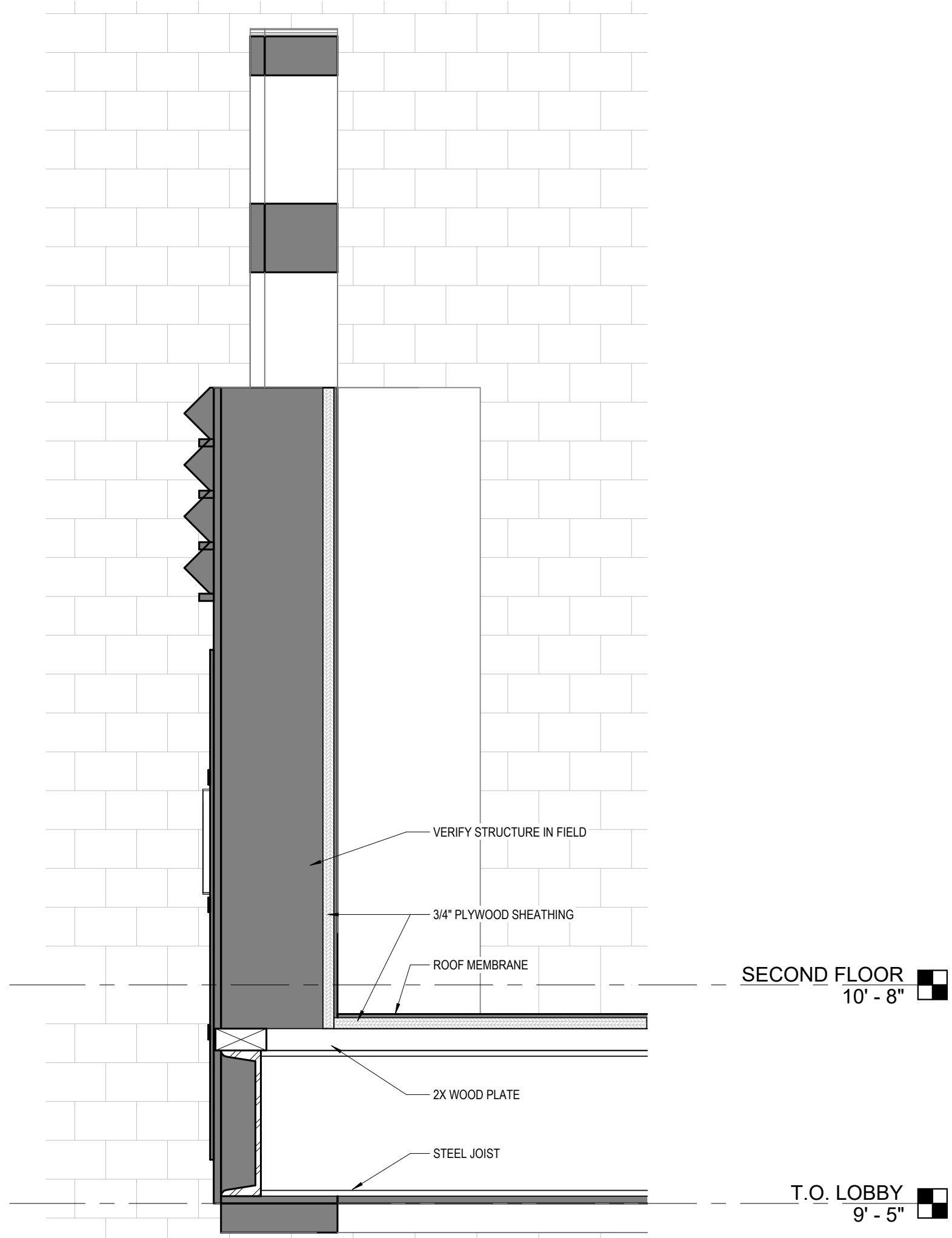
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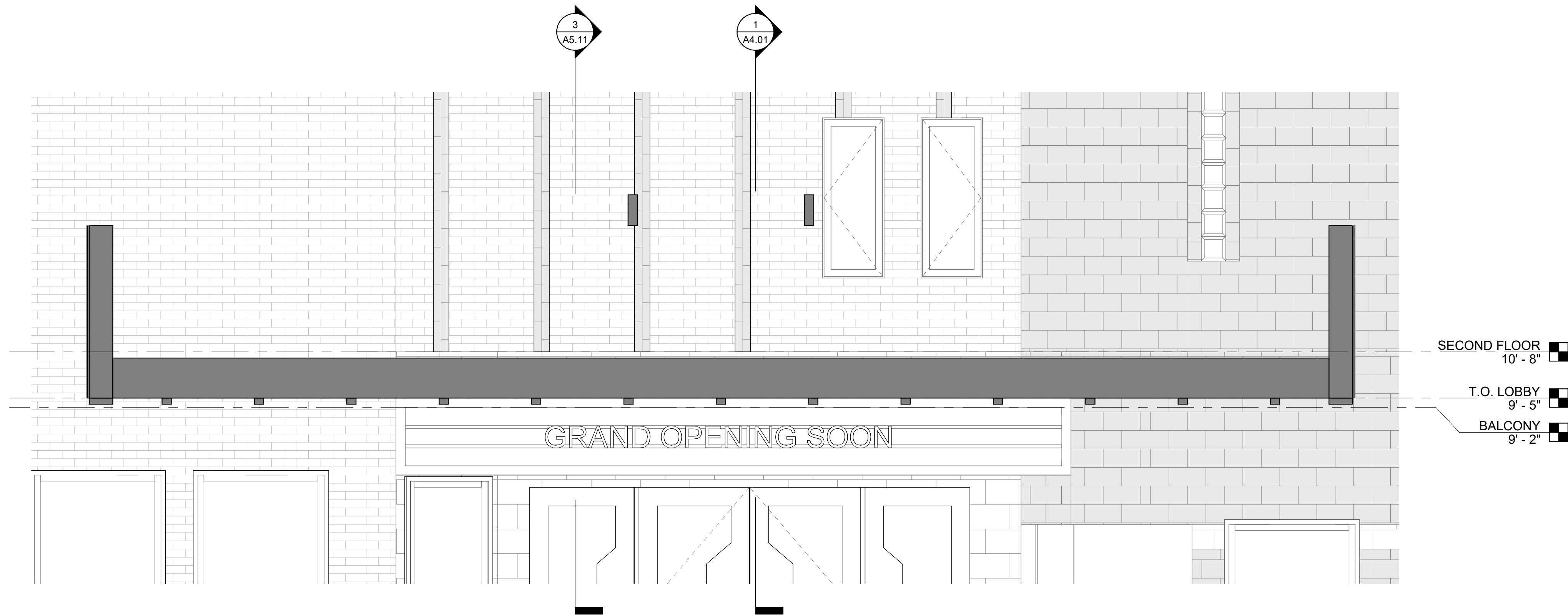


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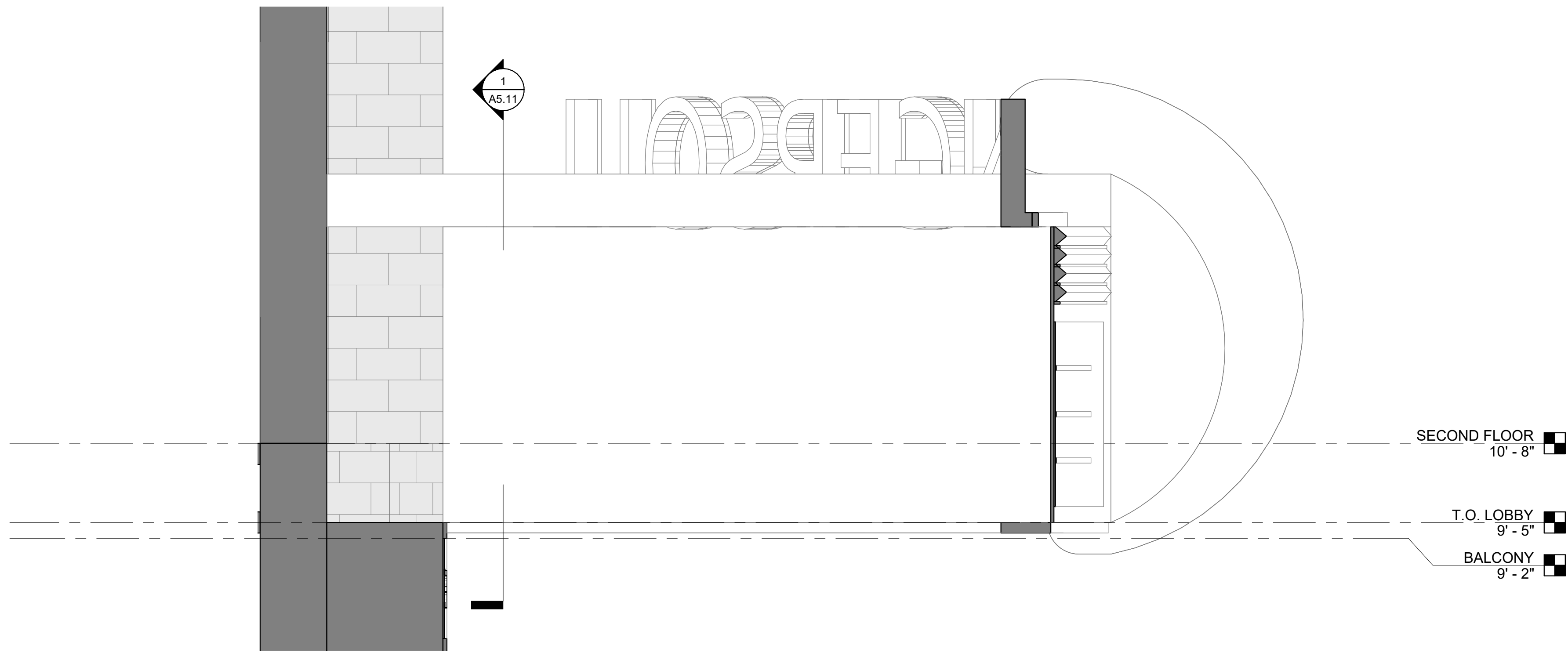
2 | MARQUEE PARAPET DETAIL  
1 1/2" = 1'-0"



1 | MARQUEE FRAMING DETAIL  
1/2" = 1'-0"



3 | Section Detail - Marquee North/South  
3/4" = 1'-0"



DETAILS -  
MARQUEE

A5.11

HISTORIC REHABILITATION

3711 INGERSOLL AVENUE  
DES MOINES, IA 50312

RELEASED FOR INTERNAL REVIEW

SOA PROJECT# 3711 INGERSOLL AVENUE  
ISSUE DATE: 2023.04.25

REVISIONS  
REV DESCRIPTION DATE

SEQUEL ARCHITECTURE  
3106 Ingersoll Ave, Des Moines, IA 50312  
info@sequelarchitecture.com  
515.710.3484





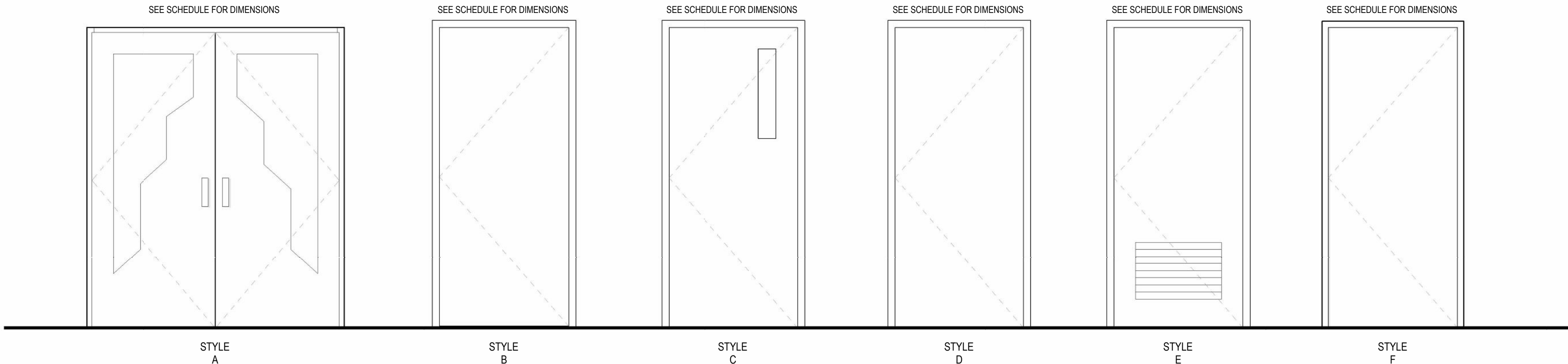
PLUMBING FIXTURE SCHEDULE					
TAG	COUNT	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
PWC02	1	COMMERCIAL TOILET	BY INTERIORS	BY INTERIORS	
BAR BACK					
	1	BAR SINK - 4 BASIN	BY INTERIORS	BY INTERIORS	
	3	BEER TAP	BY INTERIORS	BY INTERIORS	
	1	HAND SINK	BY INTERIORS	BY INTERIORS	
FAMILY RSTRM					
PVF01	1	ONE HANDLE COMMERCIAL VANITY FAUCET	BY INTERIORS	BY INTERIORS	
PVS02	1	WALL MOUNTED SINK	BY INTERIORS	BY INTERIORS	
PWC01	1	WALL MOUNTED COMMERCIAL TOILET	BY INTERIORS	BY INTERIORS	
MEN'S RESTROOM					
PU01	2	COMMERCIAL URINAL	BY INTERIORS	BY INTERIORS	
PVF01	2	ONE HANDLE COMMERCIAL VANITY FAUCET	BY INTERIORS	BY INTERIORS	
PVS01	2	COMMERCIAL VANITY SINK	BY INTERIORS	BY INTERIORS	
PWC01	2	WALL MOUNTED COMMERCIAL TOILET	BY INTERIORS	BY INTERIORS	
RESTROOM					
PVF01	1	ONE HANDLE COMMERCIAL VANITY FAUCET	BY INTERIORS	BY INTERIORS	
PVS01	1	COMMERCIAL VANITY SINK	BY INTERIORS	BY INTERIORS	
WOMEN'S RESTROOM					
PVF01	2	ONE HANDLE COMMERCIAL VANITY FAUCET	BY INTERIORS	BY INTERIORS	
PVS01	2	COMMERCIAL VANITY SINK	BY INTERIORS	BY INTERIORS	
PWC01	4	WALL MOUNTED COMMERCIAL TOILET	BY INTERIORS	BY INTERIORS	

SPECIALTIES SCHEDULE					
TAG	COUNT	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
TPA01	2	TOILET PARTITION - ACCESSIBLE	BY INTERIORS	BY INTERIORS	
FAMILY RSTRM					
BCS01	1	BABY CHANGING STATION - HORIZONTAL SURFACE MOUNTED	BY INTERIORS	BY INTERIORS	
GB01	1	GRAB BARS	BY INTERIORS	BY INTERIORS	
HD01	1	HAND DRYER - SURFACE MOUNTED	BY INTERIORS	BY INTERIORS	
MR04	1	MIRROR	BY INTERIORS	BY INTERIORS	
ND01	1	SANITARY NAPKIN DISPOSAL - SURFACE MOUNTED	BY INTERIORS	BY INTERIORS	
SD01	1	SOAP DISPENSER - SURFACE MOUNTED	BY INTERIORS	BY INTERIORS	
TD01	1	TOILET TISSUE DISPENSER - SURFACE MOUNTED	BY INTERIORS	BY INTERIORS	
MEN'S RESTROOM					
GB01	1	GRAB BARS	BY INTERIORS	BY INTERIORS	
HD01	2	HAND DRYER - SURFACE MOUNTED	BY INTERIORS	BY INTERIORS	
MR02	1	MIRROR	BY INTERIORS	BY INTERIORS	
SD01	2	SOAP DISPENSER - SURFACE MOUNTED	BY INTERIORS	BY INTERIORS	
TD01	2	TOILET TISSUE DISPENSER - SURFACE MOUNTED	BY INTERIORS	BY INTERIORS	
TPS01	1	TOILET PARTITION - STANDARD	BY INTERIORS	BY INTERIORS	
UPS01	1	URINAL PARTITION - STANDARD	BY INTERIORS	BY INTERIORS	
RESTROOM					
GB01	1	GRAB BARS	BY INTERIORS	BY INTERIORS	
HD01	1	HAND DRYER - SURFACE MOUNTED	BY INTERIORS	BY INTERIORS	
MR03	1	MIRROR	BY INTERIORS	BY INTERIORS	
ND01	1	SANITARY NAPKIN DISPOSAL - SURFACE MOUNTED	BY INTERIORS	BY INTERIORS	
SD01	1	SOAP DISPENSER - SURFACE MOUNTED	BY INTERIORS	BY INTERIORS	
TD01	1	TOILET TISSUE DISPENSER - SURFACE MOUNTED	BY INTERIORS	BY INTERIORS	
WOMEN'S RESTROOM					
GB01	1	GRAB BARS	BY INTERIORS	BY INTERIORS	
HD01	2	HAND DRYER - SURFACE MOUNTED	BY INTERIORS	BY INTERIORS	
MR01	1	MIRROR	BY INTERIORS	BY INTERIORS	
ND01	4	SANITARY NAPKIN DISPOSAL - SURFACE MOUNTED	BY INTERIORS	BY INTERIORS	
SD01	2	SOAP DISPENSER - SURFACE MOUNTED	BY INTERIORS	BY INTERIORS	
TD01	4	TOILET TISSUE DISPENSER - SURFACE MOUNTED	BY INTERIORS	BY INTERIORS	
TPS01	3	TOILET PARTITION - STANDARD	BY INTERIORS	BY INTERIORS	

FINISH SCHEDULE								
TAG	NAME	PERIMETER	AREA	FLOOR	BASE	WALL	CEILING	COMMENTS
BASEMENT								
207	GREENROOM	119' - 11"	443 SF					
MAIN FLOOR								
101	LOBBY	90' - 4"	376 SF					REDUNDANT SPACE (NO ADDITIONAL LOAD)
102	AUDITORIUM	179' - 3"	1796 SF	CPT				
103	FAMILY RSTRM	37' - 5"	68 SF	TILE		TILE COVE	GYP - PT	REDUNDANT SPACE (NO ADDITIONAL LOAD)
104	UTIL	38' - 6"	82 SF					
105	TICKETS	48' - 3"	126 SF					
106	BAR BACK	44' - 10"	111 SF			GYP - PT	GYP - PT	
107	BAR	39' - 9"	77 SF				GYP - PT	
108	KITCHEN	112' - 8"	650 SF					
109	STAGE	46' - 2"	617 SF					
110	STORAGE	118' - 8"	128 SF			GYP - PT	GYP - PT	
111	WOMEN'S RESTROOM	57' - 10"	170 SF	TILE		TILE COVE	GYP - PT	REDUNDANT SPACE (NO ADDITIONAL LOAD)
112	MEN'S RESTROOM	52' - 8"	149 SF	TILE		TILE COVE	GYP - PT	REDUNDANT SPACE (NO ADDITIONAL LOAD)
SECOND FLOOR								
201	BALCONY	159' - 2"	545 SF					MEZZANINE LEVEL IN MAIN AUDITORIUM SPACE
202	STORAGE	77' - 8"	260 SF			GYP - PT		
203	OFFICE	67' - 1"	241 SF					
204	MECHANICAL	74' - 3"	247 SF					
205	HALL	97' - 8"	245 SF					REDUNDANT SPACE (NO ADDITIONAL LOAD)
206	RESTROOM	30' - 5"	57 SF	TILE		TILE COVE	GYP - PT	REDUNDANT SPACE (NO ADDITIONAL LOAD)

WINDOW SCHEDULE								
TAG	COUNT	DESCRIPTION	MANUFACTURER	MODEL	FRAME SIZE		HEAD HEIGHT	COMMENTS
					WIDTH	HEIGHT		
A	2	STOREFRONT	BY INTERIORS	BY INTERIORS	2' - 5"	8' - 0"	8' - 0"	
B	1	STOREFRONT	BY INTERIORS	BY INTERIORS	2' - 6"	5' - 5"	6' - 3"	

DOOR SCHEDULE								
TAG	DESCRIPTION		OPENING		RATING	HARDWARE	DOOR STYLE	COMMENTS
			WIDTH	HEIGHT				
EXISTING								
DX01	SINGLE HINGED		2' - 0"	7' - 0"			D	EXISTING DOOR TO REMAIN
DX02	SINGLE HINGED		1' - 8"	6' - 8"			D	EXISTING DOOR TO REMAIN
DX03	SINGLE HINGED		2' - 8"	7' - 0"			D	EXISTING DOOR TO REMAIN
DX04	SINGLE HINGED - SINGLE VISION LITE		3' - 0"	6' - 8"			C	EXISTING DOOR TO REMAIN
DX05	SINGLE HINGED - SINGLE VISION LITE		3' - 0"	6' - 8"			C	EXISTING DOOR TO REMAIN
NEW								
D101A	STOREFRONT DOUBLE DOOR		6' - 0"	7' - 0"			A	
D101B	SINGLE HINGED		3' - 0"	7' - 0"			D	
D102A	EMERGENCY EGRESS - EXTERIOR		3' - 0"	7' - 0"			B	
D102B	EMERGENCY EGRESS - EXTERIOR		3' - 0"	7' - 0"			B	
D103A	SINGLE HINGED WITH LOUVER		3' - 0"	7' - 0"			E	
D104A	SINGLE HINGED		3' - 0"	7' - 0"			D	
D105A	SINGLE HINGED		3' - 0"	7' - 0"			D	
D108A	DOUBLE SWING DOOR		3' - 0"	7' - 0"			F	
D108B	EMERGENCY EGRESS - EXTERIOR		3' - 0"	7' - 0"			B	
D110A	SINGLE HINGED		3' - 0"	7' - 0"			D	
D111A	SINGLE HINGED WITH LOUVER		3' - 0"	7' - 0"			E	
D112A	SINGLE HINGED WITH LOUVER		3' - 0"	7' - 0"			E	
D202B	SINGLE HINGED		3' - 0"	6' - 8"			D	
D203A	SINGLE HINGED		3' - 0"	6' - 8"			D	
D204A	SINGLE HINGED		3' - 0"	6' - 8"			D	
D206D	SINGLE HINGED WITH LOUVER		3' - 0"	7' - 0"			F	
D206E	SINGLE HINGED		3' - 0"	6' - 8"			D	



## 1 | DOOR STYLES

1/2" = 1'-0"

